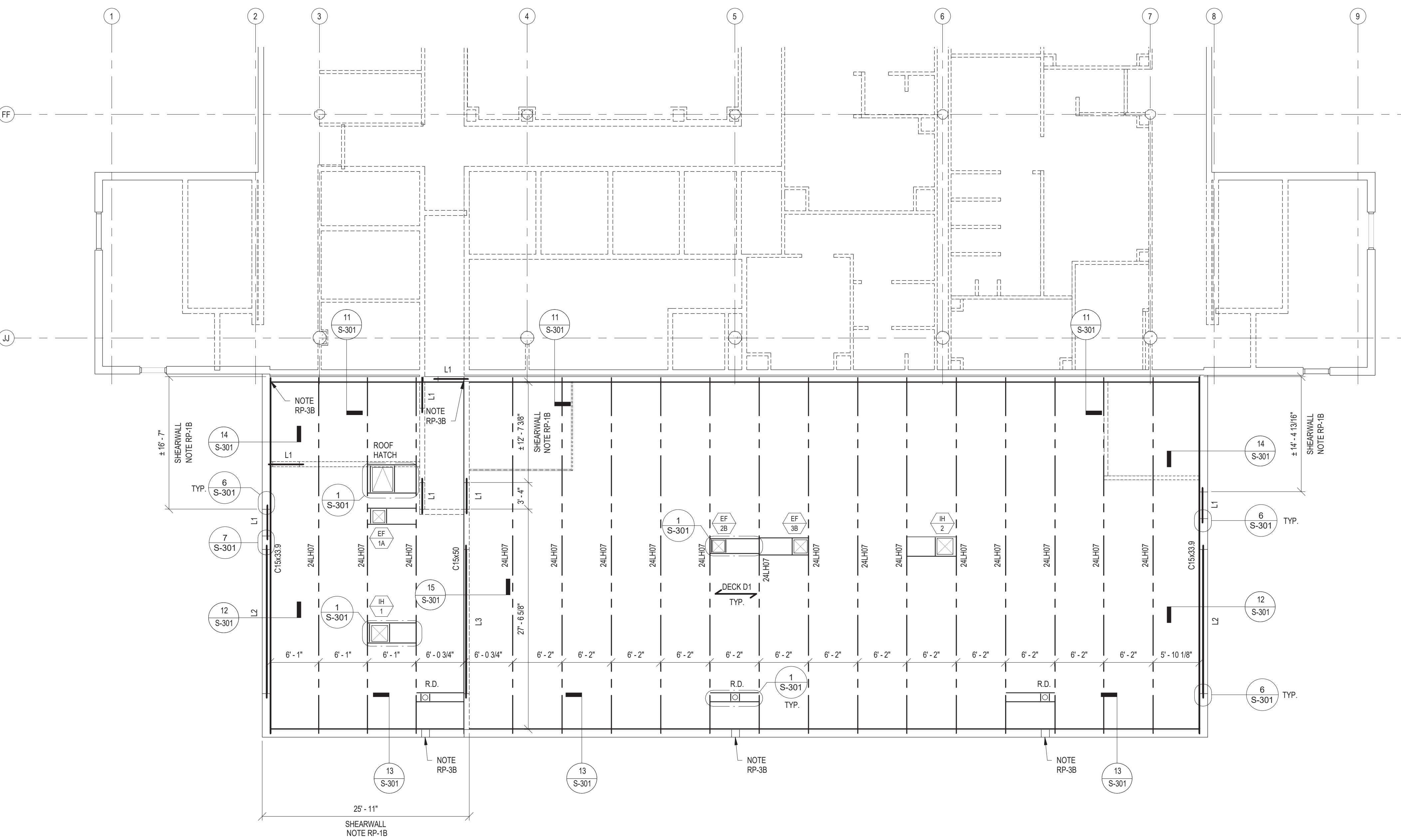


**1 FOUNDATION PLAN - ALTERNATE #2**  
1/8" = 1'-0"



**2 ROOF FRAMING PLAN - ALTERNATE #2**  
1/8" = 1'-0"

## PLAN NOTES & SYMBOLS

- CONTRACTOR TO COORDINATE ALL DIMENSIONS AND ELEVATIONS W/ ARCHITECTURAL DRAWINGS AND EXISTING CONDITIONS.
- SEE SHEET S-400 FOR PROJECT GENERAL NOTES, DESIGN LOAD CRITERIA AND SPECIAL INSPECTION & TESTING SCHEDULES.
- ALL SOIL, CONCRETE, REINFORCING STEEL, MASONRY AND STEEL TO BE TESTED IN ACCORDANCE WITH THE SPECIAL TESTING AND INSPECTION SCHEDULES ON SHEET S-400.
- SEE DETAIL 1S-201 FOR PLACEMENT OF W.W.R. IN CONCRETE SLAB ON GRADE.
- SEE DETAIL 1S-201 FOR TYPICAL SLAB CONTROL JOINT DETAIL.
- SEE DETAIL 2S-201 FOR TYPICAL SLAB CONSTRUCTION JOINT DETAIL.
- SEE DETAIL 3S-201 FOR ADDITIONAL SLAB REINFORCING AT RE-ENTRANT CORNERS.
- SEE DETAIL 4S-201 FOR TYPICAL CORNER BAR DETAIL FOR FOUNDATION WALLS AND MASONRY BOND BEAMS.
- SEE DETAIL 5S-201 FOR TYPICAL STEPPED FOOTING DETAIL.
- SEE DETAIL 6S-201 FOR TYPICAL PIPE PENETRATION DETAILS THROUGH FOUNDATION WALLS & FOOTINGS.
- SEE DETAIL 7S-201 FOR TYPICAL CONSTRUCTION JOINT DETAIL AT FOUNDATION WALLS.
- SEE DETAIL 8S-201 FOR TYPICAL REBAR DETAILING WHERE FLOOR SLAB IS CAST OVER THE TOP OF THE FOUNDATION WALL.
- REFER TO ARCHITECTURAL DRAWINGS FOR FOUNDATION WALL & UNDER SLAB RIGID INSULATION REQUIREMENTS.
- PROVIDE PIER REINFORCING AT ALL OPENINGS PER 6S-301.
- (95'-6") DENOTES ANTICIPATED TOP OF FOOTING ELEVATION.
- C.J. DENOTES SLAB CONTROL OR CONSTRUCTION JOINT. SEE TYPICAL DETAILS 1S-201 & 2S-201. MAXIMUM DISTANCE BETWEEN JOINTS IN ANY DIRECTION TO BE 15'-0".
- F.D. DENOTES FLOOR DRAIN. COORDINATE W/ ARCH. & M.E.P. DRAWINGS. SEE ARCH. AND M.E.P. DRAWINGS FOR REQUIRED SLOPES TO DRAINS.
- SLAB S1 (TYPICAL INTERIOR SLAB) INDICATES 8" CONCRETE SLAB REINFORCED W/ 6#-W2.9W2.9 W.W.R. PROVIDED IN FLAT SHEETS ONLY. ON 6" COMPACTED GRANULAR FILL. SEE PLAN & ARCHITECTURAL DWGS. FOR T1/SLAB ELEVATIONS.
- SLAB S2 (TYPICAL EXTERIOR SLAB) INDICATES 5" CONCRETE SLAB REINFORCED W/ 6#-W2.9W2.9 W.W.R. PROVIDED IN FLAT SHEETS ONLY. ON 6" COMPACTED GRANULAR FILL. SEE PLAN & ARCHITECTURAL DWGS. FOR T1/SLAB ELEVATIONS.
- NOTE FP-1B: PROVIDE (2) #6 x 6'-0" LG. DOWEL BARS IN PIER. EMBED 3'-0" INTO CONC. FOUNDATION WALL & GROUTED SOLID INTO MASONRY WALL. COORDINATE LOCATION W/ MASONRY CONTRACTOR. LAP DOWEL BARS W/ FULL HEIGHT MASONRY WALL REINFORCING.
- DECK D1 INDICATES TYPE 1B (WIDE RIB) 1 1/2"-20 GA. GALVANIZED METAL ROOF DECK. ATTACH DECK TO ALL SUPPORTING MEMBERS W/ 5/8"Ø PUDDLE WELDS @ 12" O.C. (Ø 8 PERIMETER) & (2) #10 HEX HEAD SIDELAP SCREWS EQUALLY SPACED BETWEEN SUPPORTS. PROVIDE 3 SPAN MIN. SUPPORT.
- DECK D2 INDICATES 3" NORMAL WEIGHT CONCRETE SLAB ON 2"-20 GA. V.I. COMPOSITE ETAL DECK OR EQUAL (5" TOTAL THICKNESS). METAL DECK TO BE ATTACHED TO ALL SUPPORTING MEMBERS W/ 5/8"Ø PUDDLE WELDS @ 12" O.C. & #10 HEX HEAD SIDELAP SCREWS @ 36" O.C. MAX. REINFORCE CONCRETE SLAB W/ 6#-W2.9W2.9 SLAT SHEET W.W.R.
- PROVIDE ANGLE FRAME REINFORCEMENT AT ALL PENETRATIONS THRU THE ROOF DECK. SEE TYPICAL ROOF OPENING FRAMING DETAIL 1S-301 FOR ADDITIONAL INFORMATION.
- SUPPLEMENTAL WEB REINFORCING IS REQUIRED AT ALL JOISTS WHERE CONCENTRATED LOADS ARE APPLIED TO JOISTS BETWEEN PANEL POINTS. SEE DETAIL 3S-301 FOR ADDITIONAL INFORMATION.
- THE TOP OF ALL NON-LOAD BEARING MASONRY PARTITION WALLS ARE TO BE Laterally STABILIZED TO THE UNDERSIDE OF THE ROOF STRUCTURE IMMEDIATELY ABOVE. SEE TYPICAL SECTIONS 7-SIS-301 FOR THE REQUIRED CONSTRUCTION.
- PERIMETER DECK ANGLES ARE TO BE CONTINUOUS AROUND THE LIMITS OF THE ROOF DECK. JOINTS BETWEEN INDIVIDUAL ANGLE PIECES ARE TO BE ATTACHED WITH FULL PENETRATION FIELD WELDS.
- CHANNELS THAT RUN PARALLEL AND IMMEDIATELY ADJACENT TO A PERIMETER MASONRY WALL ARE TO BE DETAILED WITH AND WELDED TO A 6"x6"x3/8" BEARING PLATE AT EACH END. BEARING PLATES TO BE DETAILED W/ (2) 3/8" DIA. x 4" WELDED HEADED STUDS ON THE UNDERSIDE OF THE PLATE. REFER TO DETAIL 5S-301 FOR ADDITIONAL INFORMATION.
- A1 DENOTES 1/4"x4"x1/8" DECK SUPPORT ANGLE. ATTACH ENDS OF ANGLE TO SUPPORT FRAMING SIM. TO DETAIL 1S-301.
- A2 DENOTES 1/8"x4"x1/8" FRAMING ANGLE. ATTACH ENDS OF ANGLE TO SUPPORT FRAMING SIM. TO DETAIL 1S-301.
- L\_1 DENOTES LINTEL. SEE LINTEL SCHEDULE B ON THIS SHEET.
- M.C.J. DENOTES APPROXIMATE LOCATION OF MASONRY CONTROL JOINT. REFER TO ARCH. DRAWINGS FOR CONSTRUCTION DETAILS OF JOINT. CONTRACTOR TO COORD. M.C.J. LOCATIONS W/ ARCH. DWGS.
- R.D. DENOTES ROOF DRAIN. COORDINATE WITH ARCHITECTURAL & M.E.P. DRAWINGS. PROVIDE ANGLE FRAME SUPPORT BENEATH DECK SIMILAR TO TYPICAL ROOF OPENING DETAIL 1S-301.
- NOTE RP-1B: DIMENSION INDICATES APPROXIMATE LENGTH OF MASONRY SHEAR WALL. MASONRY CONTROL JOINTS ARE NOT PERMITTED WITHIN THE LIMITS OF ANY SHEAR WALL. AT ENDS OF SHEAR WALL PANELS AND AT EACH END OF OPENINGS, PROVIDE 3 SETS OF (2) #6 BARS FULL HEIGHT IN CMU FROM TOP OF FOUNDATION WALL FTG. TO TOP OF MASONRY WALL. LAP W/ #6 DOWELS IN FOUNDATION WALL. GROUT ALL COURSES W/ REBAR SOLID USING 3000 PSI CONCRETE GROUT.
- NOTE RP-2B: PROVIDE 3/8"x 1/2" LESS WIDTH OF WALL PLATE LINTEL (GALV.) AT SCUPPER. PROVIDE 6" BEARING AT EACH END.
- NOTE RP-3B: DO NOT WELD CHANNEL TO BEARING PLATE BP1.

## LINTEL SCHEDULE B

MARK	MEMBER SIZE	SHAPE	REMARKS
L1	(2)L3 12x3 1/2x5/16		
L2	MC12x31 & 5/16x7 1/2" PLATE		PROVIDE BP1 EACH END-SEE DETAIL 5S-301
L3	MC12x35 & 5/16x7 1/2" PLATE		PROVIDE BP1 EACH END-SEE DETAIL 5S-301

- SEE DETAIL 5S-301 FOR ADDITIONAL INFORMATION.
- BEAM TO BE CENTERED IN MASONRY CONSTRUCTION U.N.O. ON PLAN OR SECTIONS.
- ALL W BEAMS INDICATED ABOVE TO CONFORM TO ASTM A327 OR ASTM A892 (Fy=50 KSI).
- ALL CHANNELS, PLATES AND ANGLES INDICATED ABOVE TO CONFORM TO ASTM A36 STEEL U.N.O.
- PROVIDE MASONRY ANCHORS @ 32" O.C. HORIZONTALLY ON EACH SIDE OF BEAM WEB FOR ALL LINTELS 12" IN DEPTH OR GREATER.
- ALL EXTERIOR LINTELS TO BE GALVANIZED.
- PROVIDE (1) L3 12x3 1/2x5/16 FOR EACH 4" INCREMENT OF DEPTH AT ALL RECESSED ARCHITECTURAL OPENINGS UP TO 2'-0" IN LENGTH (I.E. FIRE EXTINGUISHER CABINETS, WATER COOLERS, ETC.)

## BEARING PLATE SCHEDULE

Mark	t	W	L	REMARKS
BP1	3/8"	7"	7"	GROUT WALL SOLID 2 COURSES DEEP x 2'-0" WIDE

- MASON TO INSTALL BEARING PLATES IN MASONRY WALLS SO THAT THE THICKNESS OF THE PLATE IS NOT VISIBLE IN THE FINISHED FACADE.
- ALL BEARING PLATES TO HAVE (2) 3/8"x4" LONG WELDED HEADED STUDS U.N.O.
- BEARING PLATES LOCATED DIRECTLY OVER MASONRY CONTROL JOINTS (M.C.J.) ARE TO HAVE WELDED HEADED STUDS SHIFTED TO ONE SIDE OF THE CONTROL JOINT. USE BOND BREAKER BETWEEN BOTTOM OF PLATE AND TOP OF WALL AT THE SIDE OF BEARING PLATE WITHOUT STUDS.
- t = THICKNESS OF PLATE.
- REFER TO 5S-301 FOR ADDITIONAL INFORMATION.

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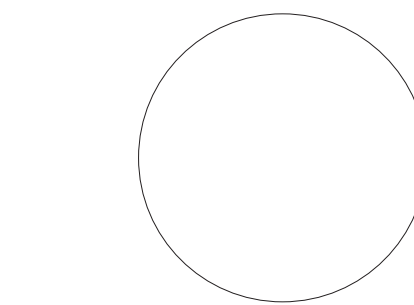
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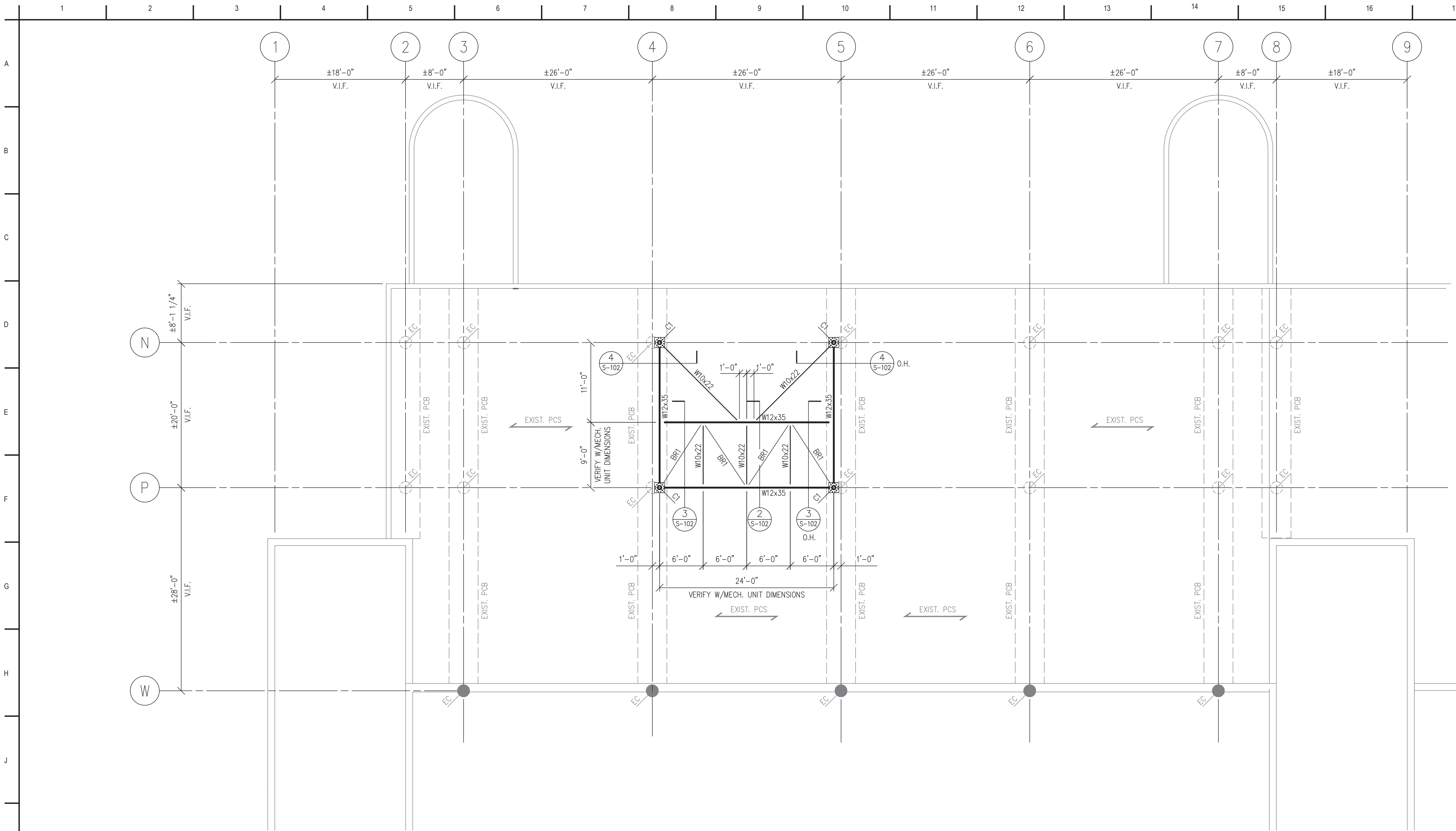
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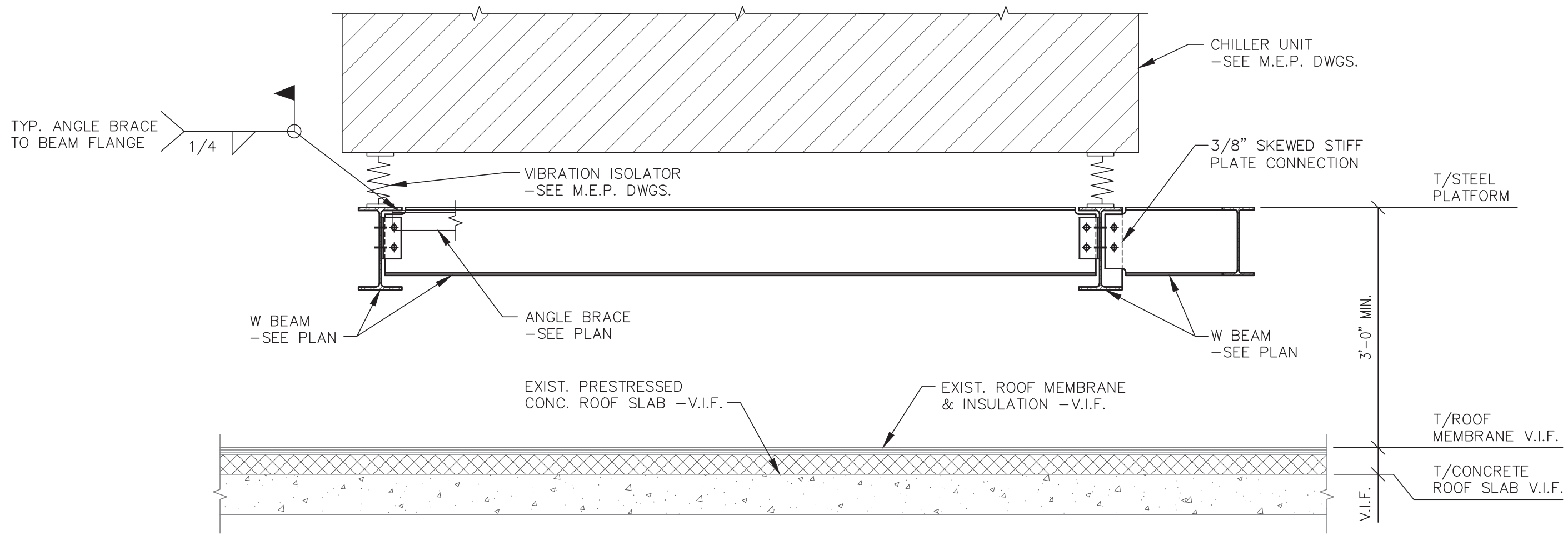
ALTERNATE #2  
FOUNDATION PLAN & ROOF  
FRAMING PLAN

# S-101B

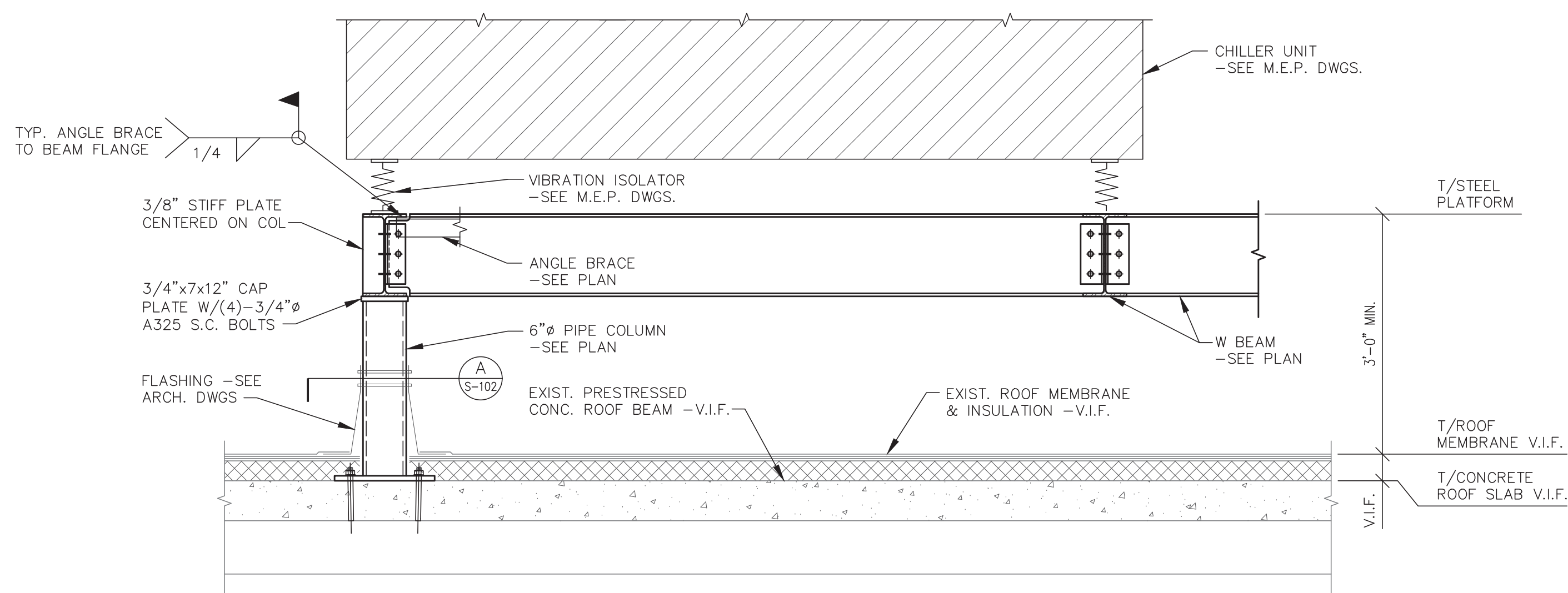




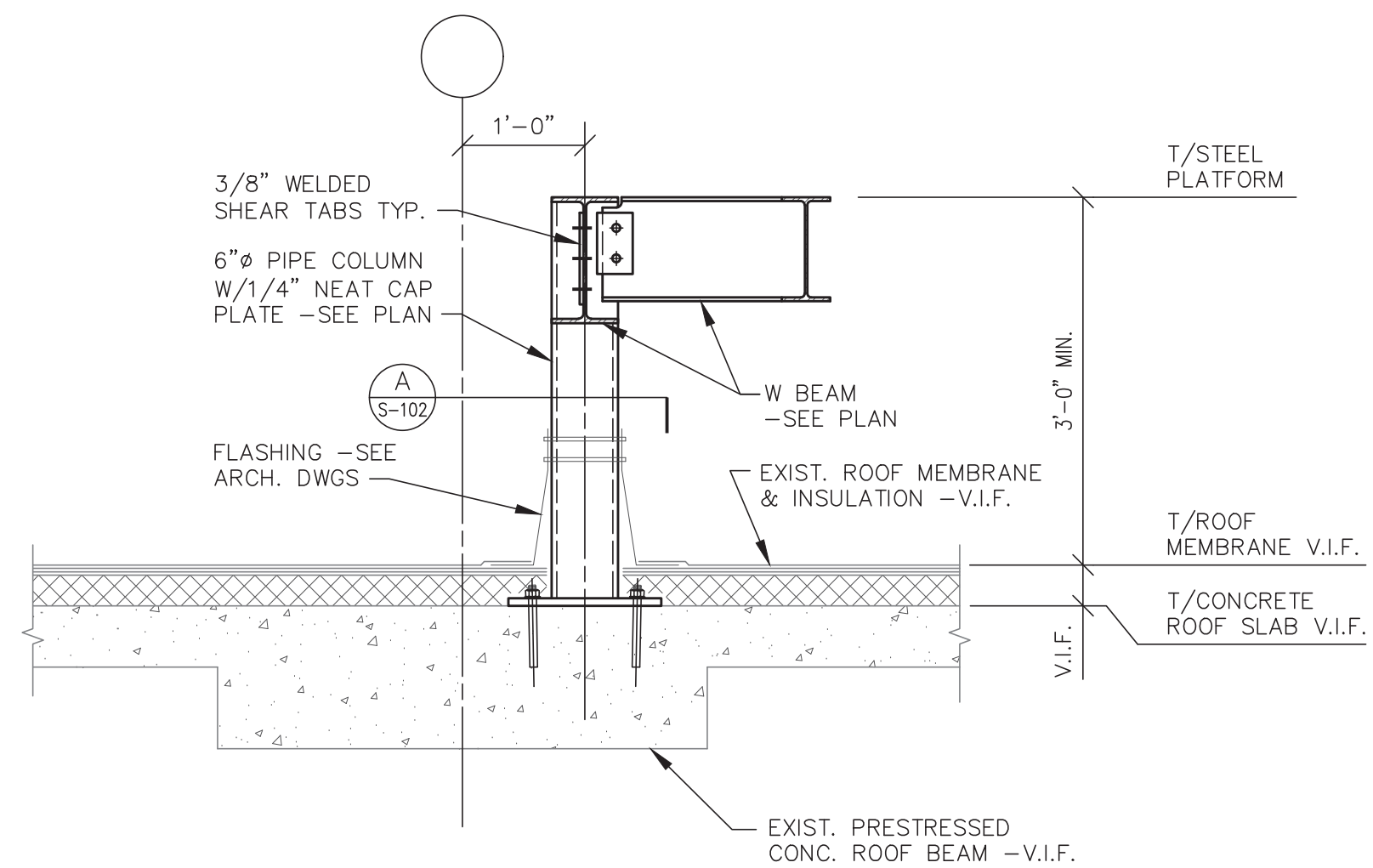
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1/8" = 1'-0"



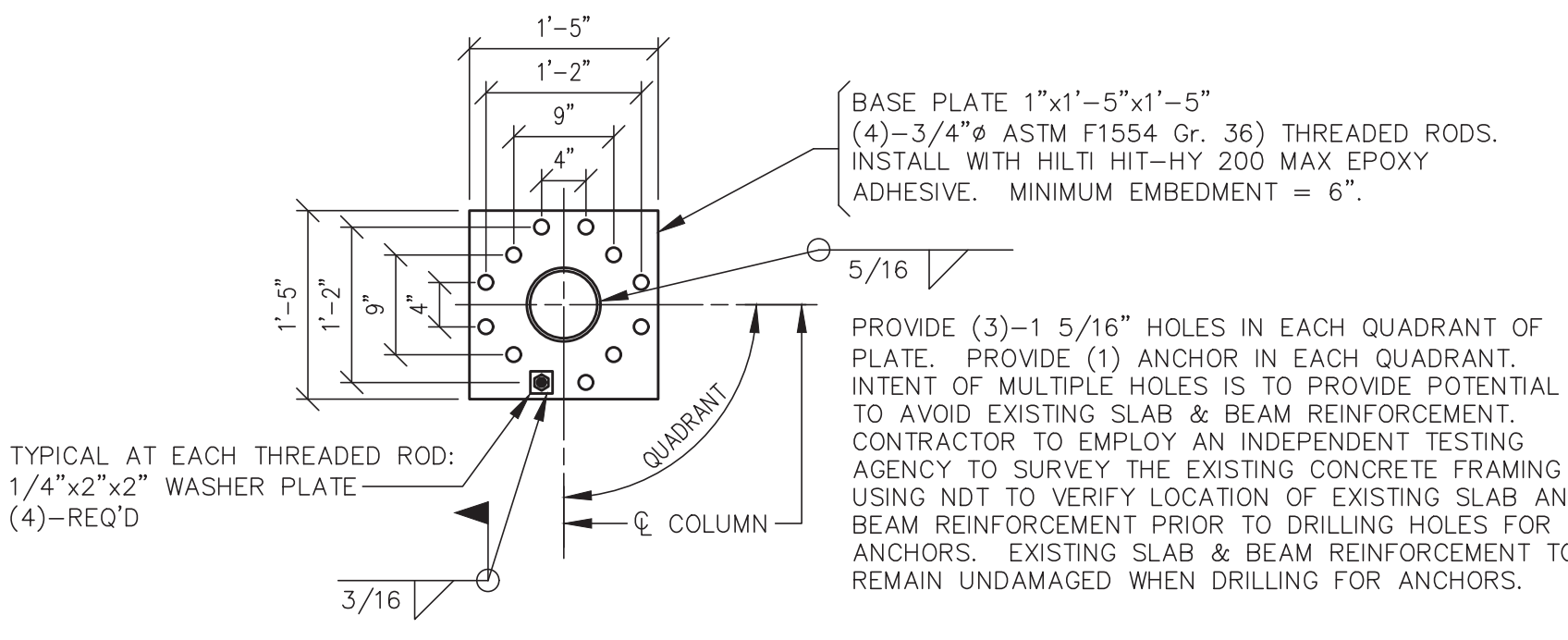
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SECTION  
SCALE: 3/4" = 1'-0"



3  
SECTION  
SCALE: 3/4" = 1'-0"



4  
SECTION  
SCALE: 3/4" = 1'-0"



A  
BASE PLATE DETAIL  
SCALE: 3/4" = 1'-0"

PLAN NOTES & SYMBOLS

- CONTRACTOR TO COORDINATE ALL DIMENSIONS AND ELEVATIONS W/ ARCHITECTURAL DRAWINGS, MECHANICAL DRAWINGS AND EXISTING CONDITIONS.
- SEE SHEET S-000 FOR PROJECT GENERAL NOTES, DESIGN LOAD CRITERIA AND SPECIAL INSPECTION & TESTING SCHEDULES.
- ALL STEEL TO BE TESTED IN ACCORDANCE WITH THE SPECIAL TESTING AND INSPECTION SCHEDULES ON SHEET S-000.
- BRI DENOTES L4x4x3/8 DIAGONAL BRACE FIELD WELDED TO UNDERSIDE OF BEAM TOP FLANGE.
- C1 DENOTES 6" x 18.97 PLF ASTM A53 SCHEDULE 40 PIPE COLUMN.
- EC DENOTES EXISTING CONCRETE COLUMN - V.I.F.
- EXIST. PCB DENOTES EXISTING PRESTRESSED CONCRETE BEAM - V.I.F.
- EXIST. PCS DENOTES EXISTING PRESTRESSED CONCRETE SLAB - V.I.F.
- ALL NEW STEEL FOR ROOF TOP MECHANICAL PLATFORM TO BE HOT DIPPED GALVANIZED.
- PRIOR TO DRILLING INTO OR CORING THRU THE EXISTING CONCRETE STRUCTURE, THE CONTRACTOR IS TO CONFIRM THE LOCATION OF ALL EXISTING REINFORCING STEEL AND PRESTRESSED TENDONS IN THE PROPOSED AREA OF WORK AND ADJUST THE LOCATION OF NEW HOLES AS REQUIRED TO ENSURE THAT NO EXISTING REINFORCING STEEL OR PRESTRESSED TENDONS ARE DAMAGED. CONFIRMATION OF THE EXISTING REBAR AND TENDON LOCATIONS IS TO BE ESTABLISHED BY AN INDEPENDENT TESTING FIRM, EMPLOYED BY THE CONTRACTOR, UTILIZING NON-DESTRUCTIVE TESTING, TEST PILOT HOLES AND ANY OTHER METHODOLOGIES NECESSARY TO LOCATE ALL EMBEDDED COMPONENTS IN THE EXISTING CONCRETE.

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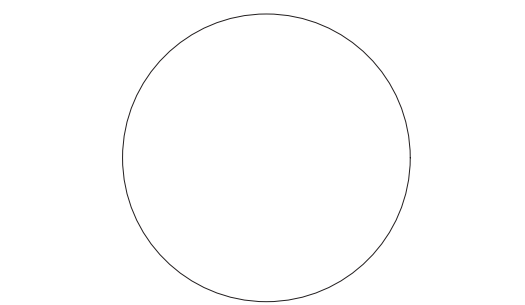
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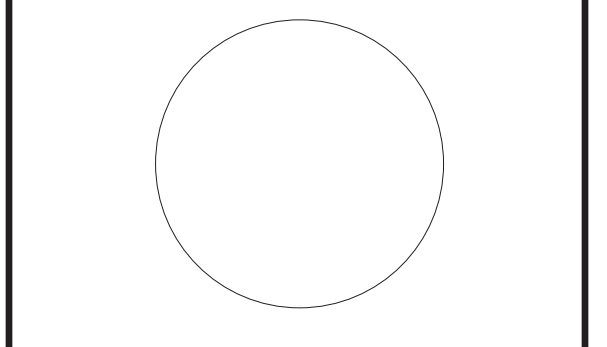
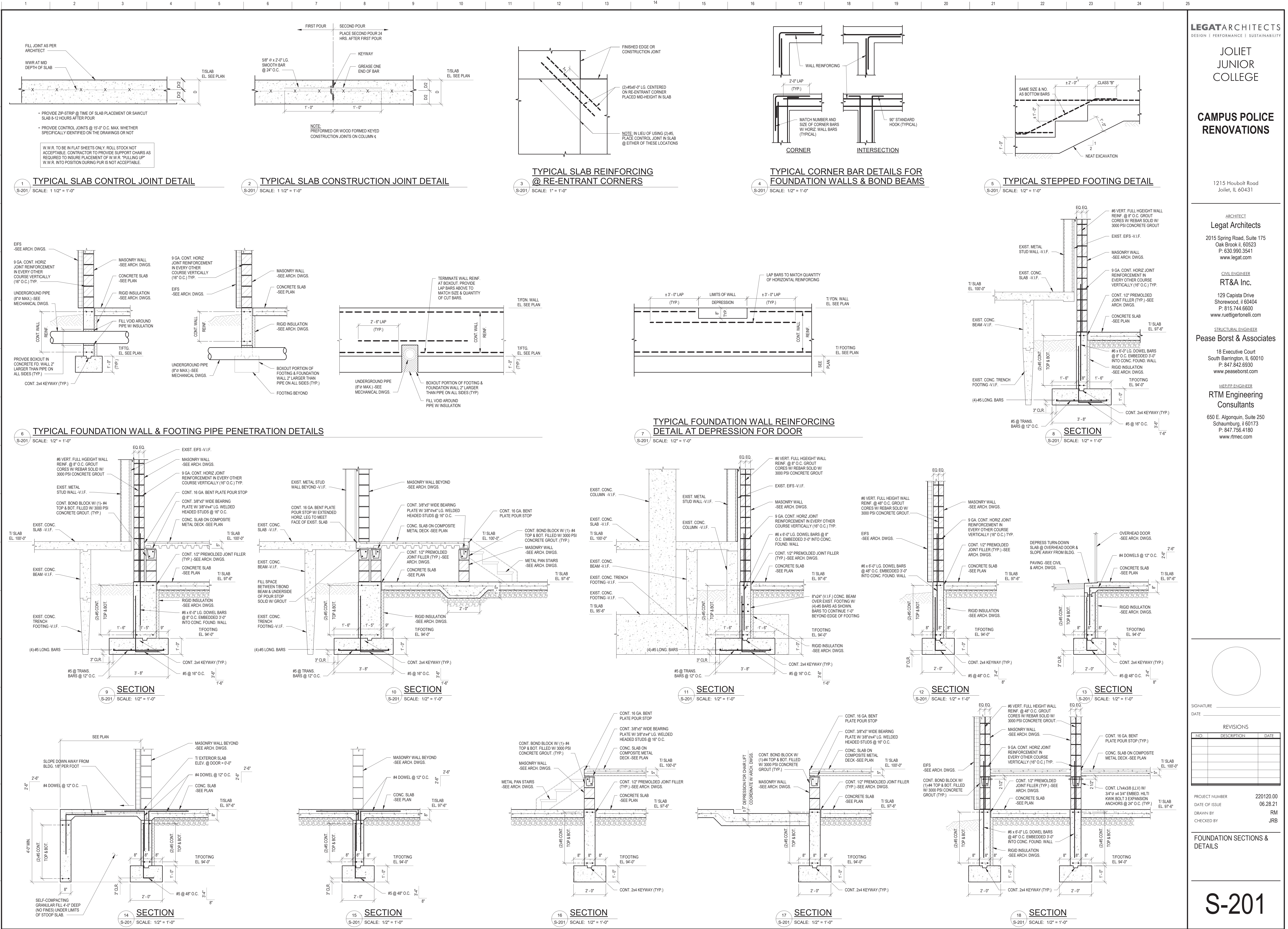
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MECHANICAL PLATFORM  
FRAMING PLAN & DETAILS

S-102





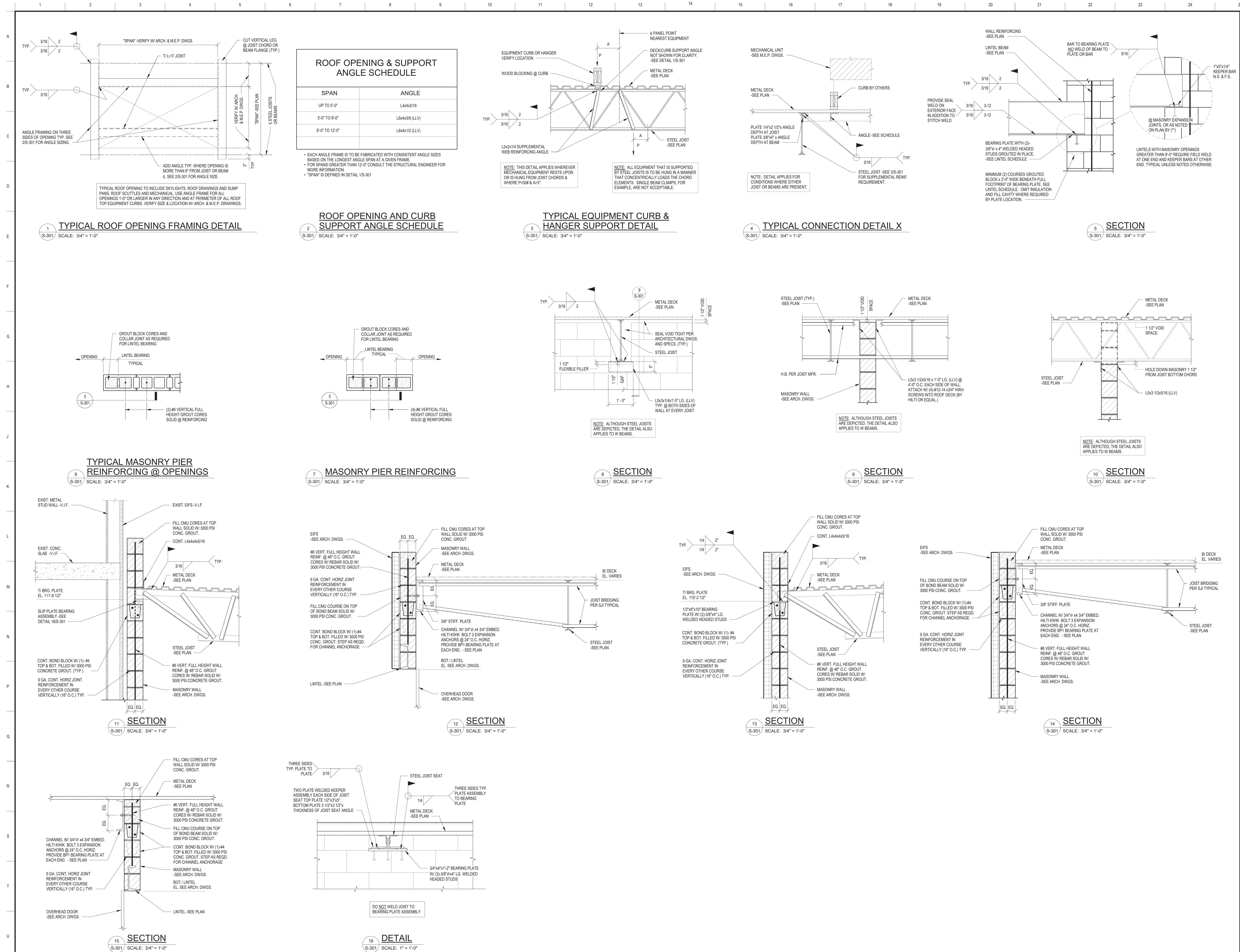
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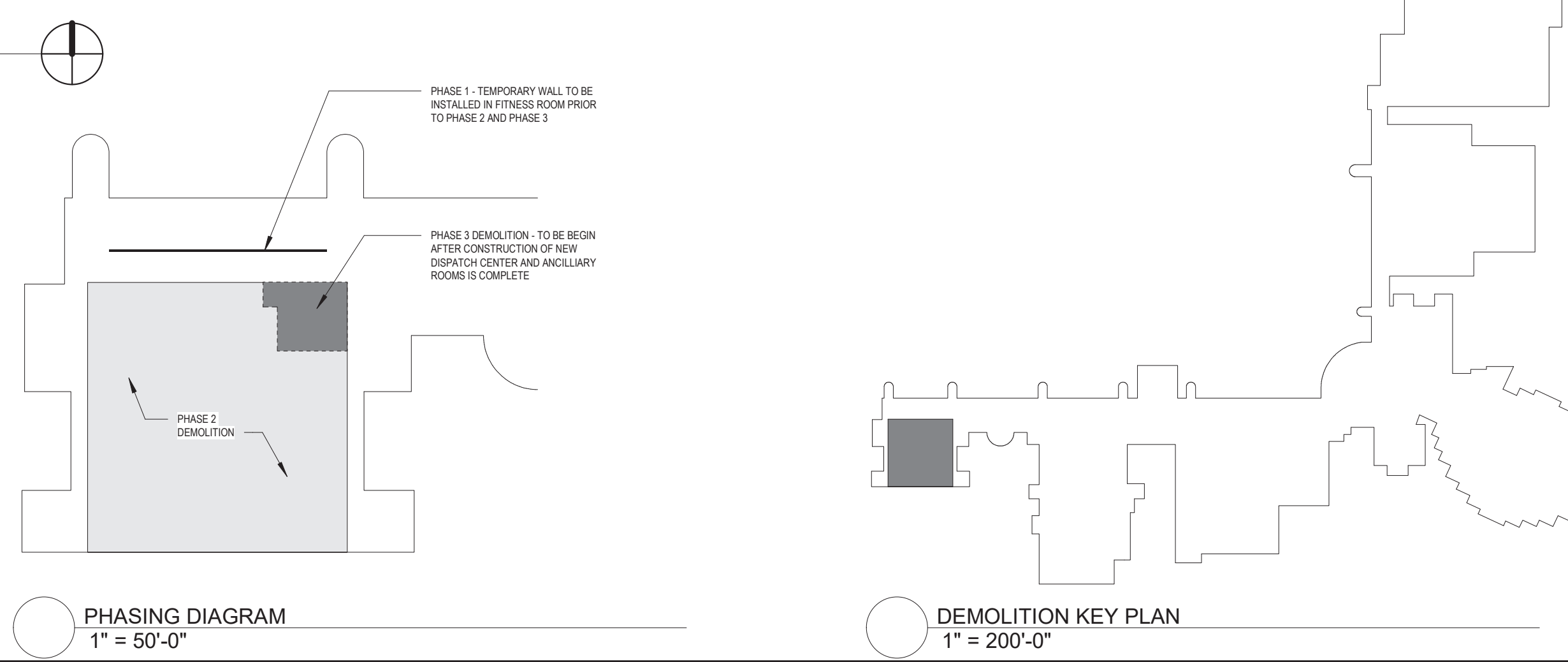
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




FOUNDATION SECTIONS & DETAILS









	EXISTING WALLS TO REMAIN
	EXISTING WALLS TO BE DEMOLISHED, REMOVAL OF GYPSUM BY OWNER, REMOVAL OF REMAINING METAL STUDS BY CONTRACTOR
	EXISTING DOORS TO REMAIN
	EXISTING DOORS TO BE DEMOLISHED
	FLOORING TO BE REMOVED - SEE <b>D003A</b>
	FLOORING TO BE REMOVED - SEE <b>D003B</b>
	FLOORING TO BE REMOVED - SEE <b>D003C</b>
	FLOORING TO BE REMOVED - SEE <b>D003F</b>
	PORTION OF WORK TO BE DEMOLISHED AFTER COMPLETION OF DISPATCH CENTER AND ITS ANCILLARY SPACES - SEE 1/A-101.
	PATCH ALL EXISTING COLUMNS

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FIRST FLOOR  
DEMOLITION PLAN

**AD101**  
ISSUED FOR BIDDING



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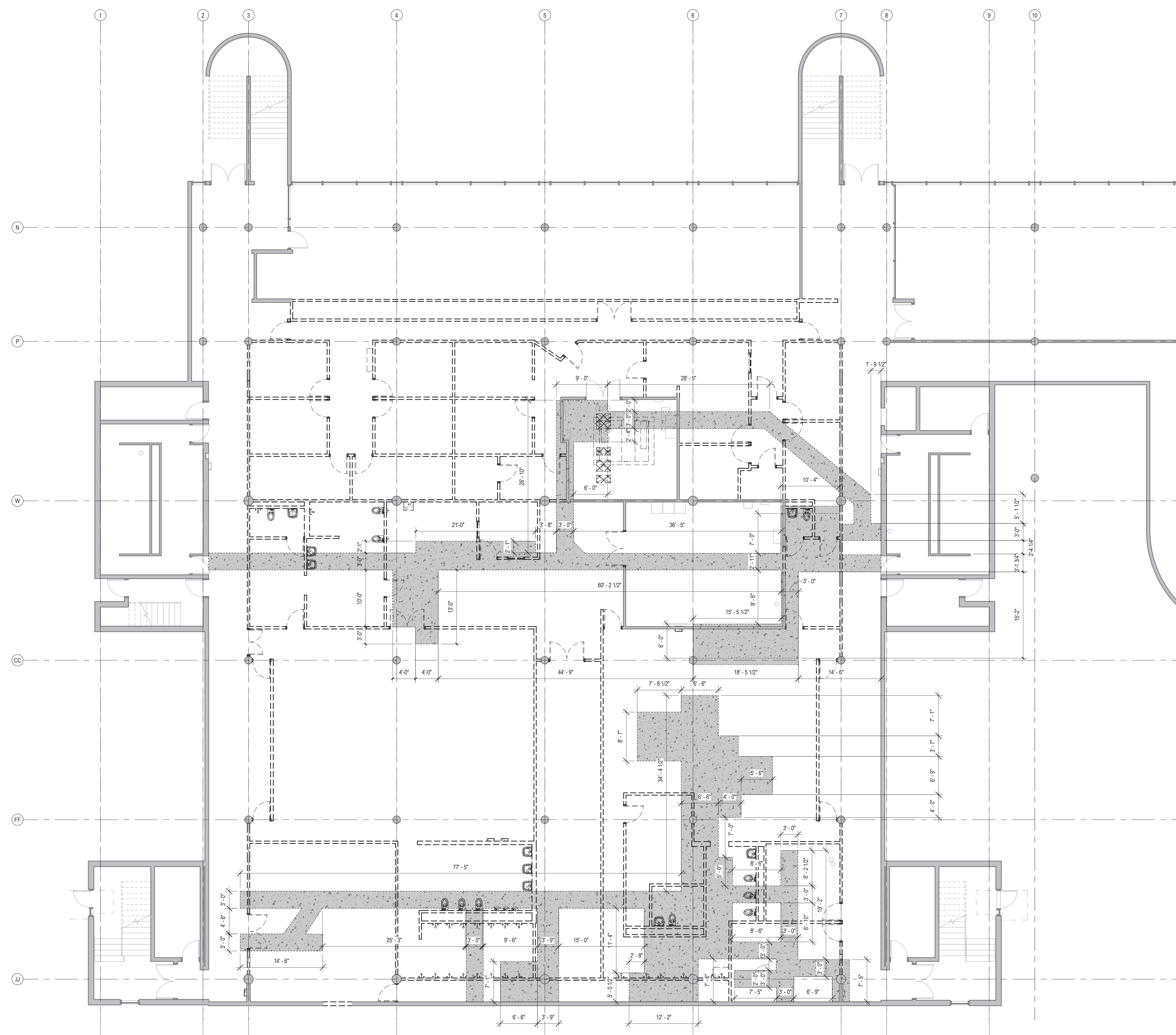
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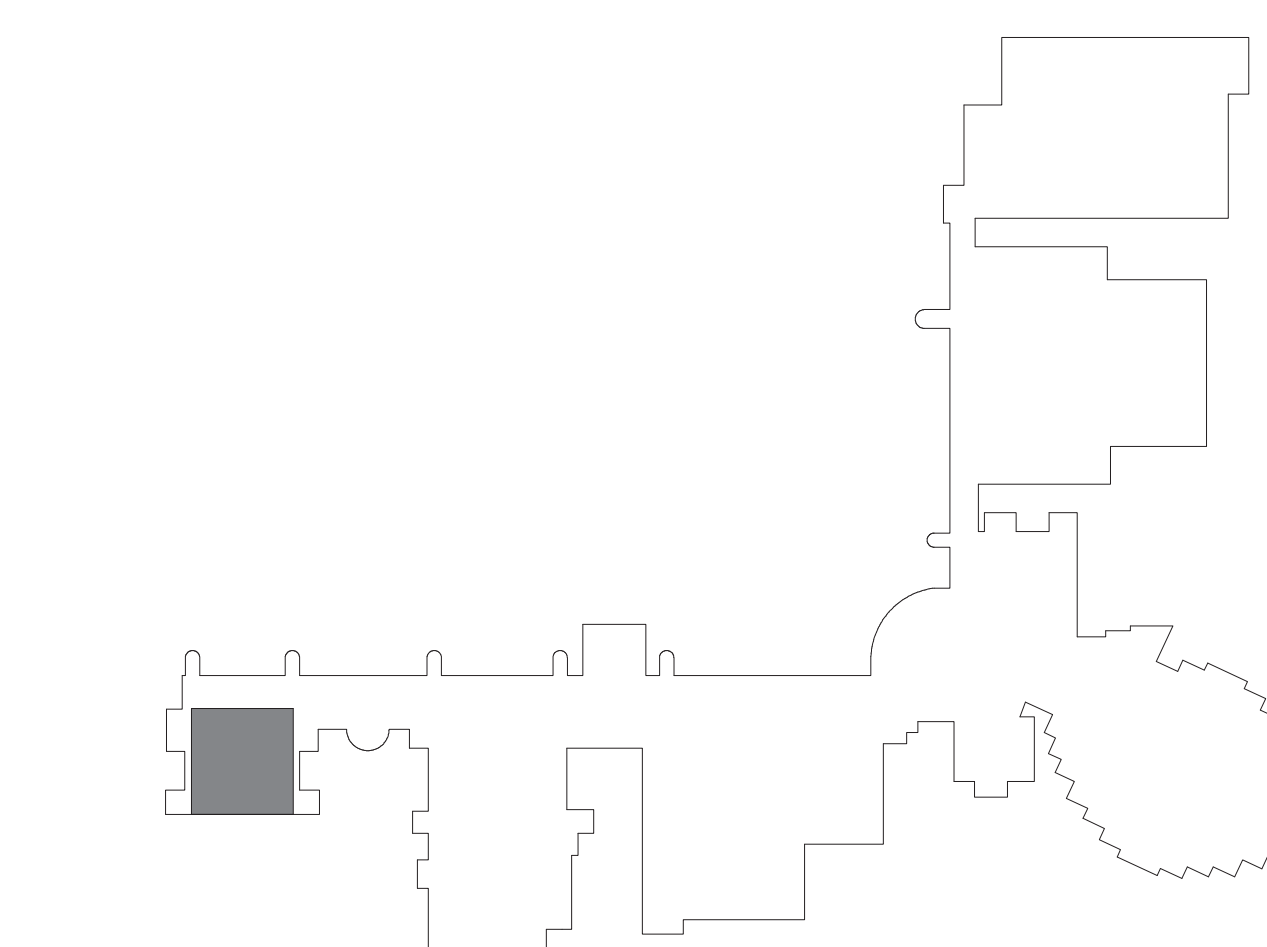
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1 FIRST FLOOR DEMOLITION PLAN  
1/8" = 1'-0" A-101A



KEY PLAN - BASE BID  
1" = 200'-0"

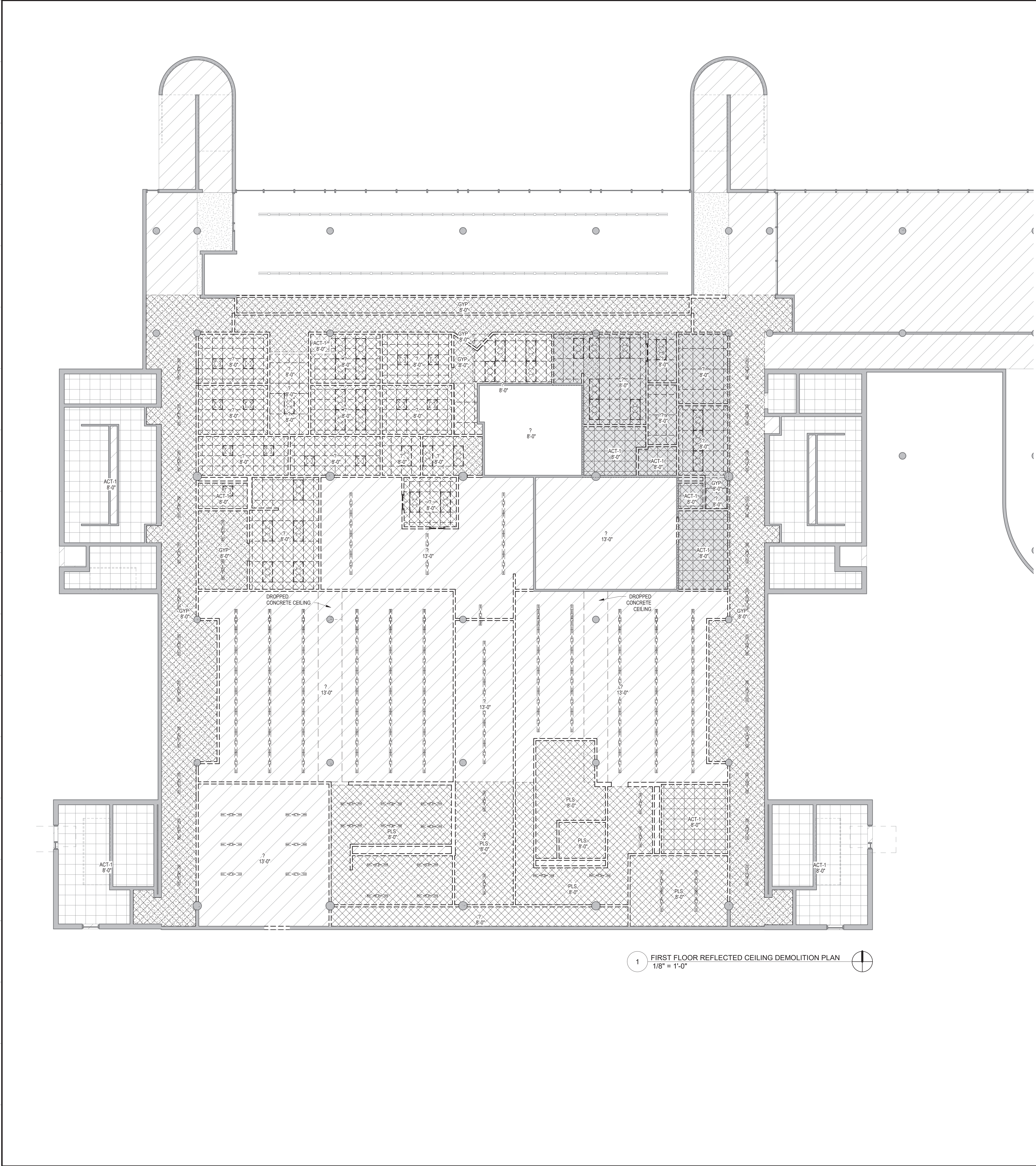
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CONCRETE CUTTING  
PLAN

**AD103**  
ISSUED FOR BIDDING





DEMOLITION NOTES <DW#>	
NOTE	DESCRIPTION
001	REMOVE EXISTING WALLS AS INDICATED
001A	REMOVE EXPOSED METAL STUD PARTITION.
001B	REMOVE EXISTING CERAMIC WALL TILE, GROUT, AND WALL AS INDICATED
001C	REMOVE EXPOSED METAL STUD PARTITION AND SINGLE LAYER OF GYPSUM TAPE AND SAND OWNER INSTALLED GYPSUM ON MECHANICAL ROOM SIDE OF WALL. INSTALL NEW GYPSUM BOARD ON EXPOSED SIDE OF WALL.
002	REMOVE EXISTING HOLLOW METAL FRAMING WITH DOORS AND WINDOWS, INCLUDING ALL ANCHORS AND SUPPORTING BLOCKING.
003	DEMOLITION NOTE EXAMPLE.
003A	REMOVE EXISTING CARPET FLOOR FINISH AND ADHESIVE WITHIN PROJECT SCOPE BOUNDARY. RECYCLE REMOVED CARPET - PREPARE FLOOR SURFACE TO RECEIVE NEW FLOOR FINISH AS INDICATED IN SPECIFICATION
003B	REMOVE EXISTING CERAMIC TILE FLOOR FINISH AND MORTAR BED WITHIN PROJECT SCOPE BOUNDARY. RECYCLE REMOVED CARPET - PREPARE FLOOR SURFACE TO RECEIVE NEW FLOOR FINISH AS INDICATED IN SPECIFICATION
003C	REMOVE EXISTING VCT FLOOR FINISH AND ADHESIVE WITHIN PROJECT SCOPE BOUNDARY. RECYCLE REMOVED CARPET - PREPARE FLOOR SURFACE TO RECEIVE NEW FLOOR FINISH AS INDICATED IN SPECIFICATION
003D	REMOVE EXISTING POLISHED CONCRETE FLOOR FINISH WITHIN PROJECT SCOPE BOUNDARY. RECYCLE REMOVED CARPET - PREPARE FLOOR SURFACE TO RECEIVE NEW FLOOR FINISH AS INDICATED IN SPECIFICATION
003F	REMOVE EXISTING RUBBER FLOOR FINISH WITHIN PROJECT SCOPE BOUNDARY. RECYCLE REMOVED CARPET - PREPARE FLOOR SURFACE TO RECEIVE NEW FLOOR FINISH AS INDICATED IN SPECIFICATION
003N	PREPARE FLOOR FOR NEW FLOOR FINISH - SEE SHEET AF101
004	REMOVE EXISTING FLOOR BASE AND ADHESIVE - PREPARE FLOOR AND WALL BASE SURFACES TO RECEIVE NEW RUBBER BASE AS INDICATED IN DRAWINGS.
005	REMOVE EXISTING METAL LOCKERS
006	REMOVE EXISTING CASED TELLER WINDOW
007	REMOVE ALL EXISTING PLUMBING FIXTURES AND ASSOCIATED PARTITIONS.
008	REMOVE ALL EXISTING FLOOR DRAINS AND PIPE PENETRATIONS.
009	REMOVE LAUNDRY EQUIPMENT - SALVAGE TO OWNER.
010	REMOVE EXISTING LOCKERS AND ASSOCIATED CONCRETE CURBS
011	REMOVE ALL EQUIPMENT IN THIS ROOM AND SALVAGE TO OWNER
012	REMOVE DISPLAY CABINET
013	REMOVE ELECTRIC WATER CHILLER - SALVAGE TO OWNER
014	REMOVE FEG - SALVAGE TO OWNER
015	REMOVE ANY ACCESSORIES ON WALL

**DEMOLITION LEGEND - REFLECTED CEILING PLAN**

EXISTING WALLS TO REMAIN

EXISTING WALLS TO BE DEMOLISHED. REMOVAL OF GYPSUM BY OWNER. REMOVAL OF REMAINING METAL STUDS BY CONTRACTOR

2X4 ACT TO BE REMOVED

2X2 ACT TO BE REMOVED

GYPSUM BOARD REMOVED BY OTHERS. N.I.C.

PORTION OF WORK TO BE DEMOLISHED AFTER COMPLETION OF DISPATCH CENTER AND ITS ANCILARY SPACES - SEE 11A-101.

2X4 LIGHT FIXTURE TO BE REMOVED

2X2 LIGHT FIXTURE TO BE REMOVED

CEILING MOUNTED LIGHT FIXTURE TO BE REMOVED

**DEMOLITION PLAN GENERAL NOTES**

- REFERENCED DEMOLITION NOTES REFER TO THE MINIMUM AMOUNT OF DEMOLITION REQUIRED TO ACCOMMODATE THE NEW CONSTRUCTION. TRADE CONTRACTORS SHALL VISIT PROJECT SITE TO BECOME FAMILIAR WITH COMPLETE SCOPE OF REMOVALS/DEMOLITIONS AND FIELD VERIFY THE EXTENT OF DEMOLITION.
- EXISTING DIMENSIONS AND HATCHED AREAS ARE FOR GENERAL REFERENCE AND BIDDING PURPOSES ONLY. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD. THE ACTUAL AREA OF DEMOLITION SHOULD BE KEPT TO THE MINIMUM REQUIRED TO PROPERLY EXECUTE THE CONTRACT REQUIREMENTS.
- IN THE EVENT THAT AN EXISTING ITEM NOT SHOWN ON THE DRAWINGS CONFLICTS WITH WORK UNDER THIS CONTRACT, CONTACT THE ARCHITECT PRIOR TO REMOVAL OF THAT ITEM.
- ALL UTILITIES SHALL REMAIN IN SERVICE FOR OTHER OCCUPANCIES. ANY SHUTDOWNS OF BUILDING MUST BE APPROVED BY OWNER AND OCCUR AT OFF HOURS AS DEFINED BY OWNER.
- THE OWNER HAS FIRST RIGHT OF REFUSAL FOR ALL MATERIAL OR EQUIPMENT IDENTIFIED TO BE REMOVED. ALL ITEMS NOT TURNED OVER TO THE OWNER SHALL BE DISPOSED OF PROPERLY AND LAWFULLY.
- REFER TO DRAWINGS FOR LOCATIONS OF ALL ITEMS TO BE REINSTALLED. ALL ITEMS NOT SPECIFICALLY INDICATED FOR REINSTALLATION ON DRAWINGS ARE TO BE TURNED OVER TO THE OWNER. ALL ITEMS NOT TURNED OVER TO THE OWNER SHALL BE DISPOSED OF PROPERLY AND LAWFULLY.
- ALL REMOVED ITEMS IDENTIFIED FOR REINSTALLATION OR TO BE TURNED OVER TO THE OWNER SHALL BE PROTECTED UNTIL TIME OF REINSTALLATION OR OWNER POSSESSION. DAMAGED ITEMS SHALL BE REPAIRED OR REPLACED BY THE RESPONSIBLE TRADE CONTRACTOR.
- THROUGHOUT DEMOLITION AND CONSTRUCTION, PROTECT ITEMS SCHEDULED TO REMAIN AND/OR ALL ADJACENT MATERIALS AND EQUIPMENT. ETC. INDICATED TO REMAIN. COORDINATE REMOVAL AND PROTECTIONS WITH OWNER.
- DO NOT COMMENCE DEMOLITION UNTIL OWNER HAS REMOVED ALL ARTWORK AND DISPLAYS FROM AREAS OF DEMOLITION.
- COORDINATE WITH OWNER ACCESS AND LOCATIONS OF TEMPORARY PARTITION. TEMPORARY PARTITION MUST BE DUSTPROOF, AND ACT AS SMOKE AND FIRE BARRIER.
- AT REMOVAL OF SELECTED DEMOLITION ITEMS WHERE NO NEW CONSTRUCTION IS IDENTIFIED, PATCH, CLEAN, PREPARE, AND PAINT SURFACES TO MATCH FINISH COLOR, TEXTURE AND SHEEN OF ADJACENT SURFACES.
- AT ITEMS TO BE REMOVED, ALSO REMOVE ALL ASSOCIATED BRACKETS, SUPPORTS, FASTENERS, ANCHORS, ETC. PATCH, CLEAN, PREPARE, AND PAINT SURFACES TO MATCH FINISH COLOR, TEXTURE AND SHEEN OF ADJACENT SURFACES.
- PATCH ALL CEILINGS, WALLS AND FLOORS WHERE MECHANICAL, ELECTRICAL, TECHNOLOGY, PLUMBING AND FIRE PROTECTION COMPONENTS ARE TO BE REMOVED IN AN EXISTING CEILINGS, WALLS OR FLOORS TO REMAIN.
- ALL WALL DEMOLITION SHALL HAVE CLEAN, VERTICAL, SMOOTH CUTS. PATCH, REPLACE AND/OR FILL VOIDS IN WALLS TO REMAIN TO PROVIDE A SMOOTH SURFACE/EDGE FOR THE APPLICATION OF NEW FINISH MATERIAL.
- WHEN REMOVING EXISTING WALL TILE, FLOOR TILE, RUBBER BASE OR CEILING TILE, REMOVE FINISHES TO THE NEAREST JOINT WHICH ABUTS TILE NOT AFFECTED BY THE CONSTRUCTION. PROTECT THE SURFACES AND EDGES OF EXISTING FINISHES TO REMAIN.
- AT AREAS WHERE DEMOLITION OF THE FLOORING EXPOSES THE CONCRETE SUBSTRATE, COMPLETELY REMOVE THE MASTIC, SHOT BLAST THE EXISTING CONCRETE TO REMAIN, AND FILL ALL CRACKS AND SPALLED AREAS IN PREPARATION FOR NEW FLOORING MATERIAL. REMOVAL OF FLOORING MATERIAL INCLUDES REMOVAL OF ADJACENT WALL BASE MATERIAL.
- AT IDENTIFIED AREAS OF SPALLED, UNEVEN AND/OR SEPARATED CONCRETE SLABS, REMOVE ALL LOOSE MATERIAL, GRIND CONCRETE TO ACHIEVE A LEVEL SURFACE AND FILL CRACKS AND SPALLED AREAS IN PREPARATION FOR INSTALLATION OF FINISHED FLOORING.
- CONTRACTOR SHALL REMOVE EXISTING PLUMBING, MECHANICAL, ELECTRICAL OR OTHER MISCELLANEOUS ITEMS REQUIRED TO COMPLETE NEW WORK BUT NOT REQUIRED TO REMAIN.
- WHEN REMOVING INTERIOR OR EXTERIOR WALL ASSEMBLIES, CONTRACTOR SHALL ALSO REMOVE ALL ASSOCIATED POWER AND DATA RECEPTACLES, SWITCHES, ETC. REROUTE CONCEALED MEPPF WHERE REQUIRED TO MAINTAIN FUNCTIONING SYSTEMS. REMOVE ABANDONED MEPPF SYSTEMS TO SOURCE AND CAP APPROPRIATELY. REFER TO MECHANICAL, ELECTRICAL, TECHNOLOGY, LOW VOLTAGE, PLUMBING AND FIRE PROTECTION DRAWINGS FOR ADDITIONAL INFORMATION.
- CONTRACTOR SHALL REMOVE ALL DEBRIS AND TRASH RESULTING FROM CONSTRUCTION ON A DAILY BASIS.
- GENERAL CONTRACTOR SHALL RECYCLE DEMOLITION CONSTRUCTION DEBRIS IN ACCORDANCE WITH AUTHORITIES HAVING JURISDICTION AND SUSTAINABLE BEST PRACTICES.
- IN THE EVENT HAZARDOUS MATERIALS ARE UNCOVERED GENERAL CONTRACTOR IS TO NOTIFY THE OWNER AND THE APPROPRIATE AUTHORITIES. THE ARCHITECT IS NOT RESPONSIBLE FOR REMOVAL/ABATEMENT OF HAZARDOUS MATERIALS. CONTRACTOR TO PROVIDE REMOVAL/ABATEMENT AT LOCATIONS NECESSARY.
- REFER TO THE CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL, PLUMBING, FIRE PROTECTION, ELECTRICAL AND TECHNOLOGY DRAWINGS FOR THE DEMOLITION WORK SPECIFIC TO THOSE DISCIPLINES.
- STRUCTURAL ITEMS SHOWN AS TO BE REMOVED ARE FOR REFERENCE ONLY. VERIFY APPROPRIATE SHORING OR REINFORCEMENT CONDITION WITH STRUCTURAL DRAWINGS.

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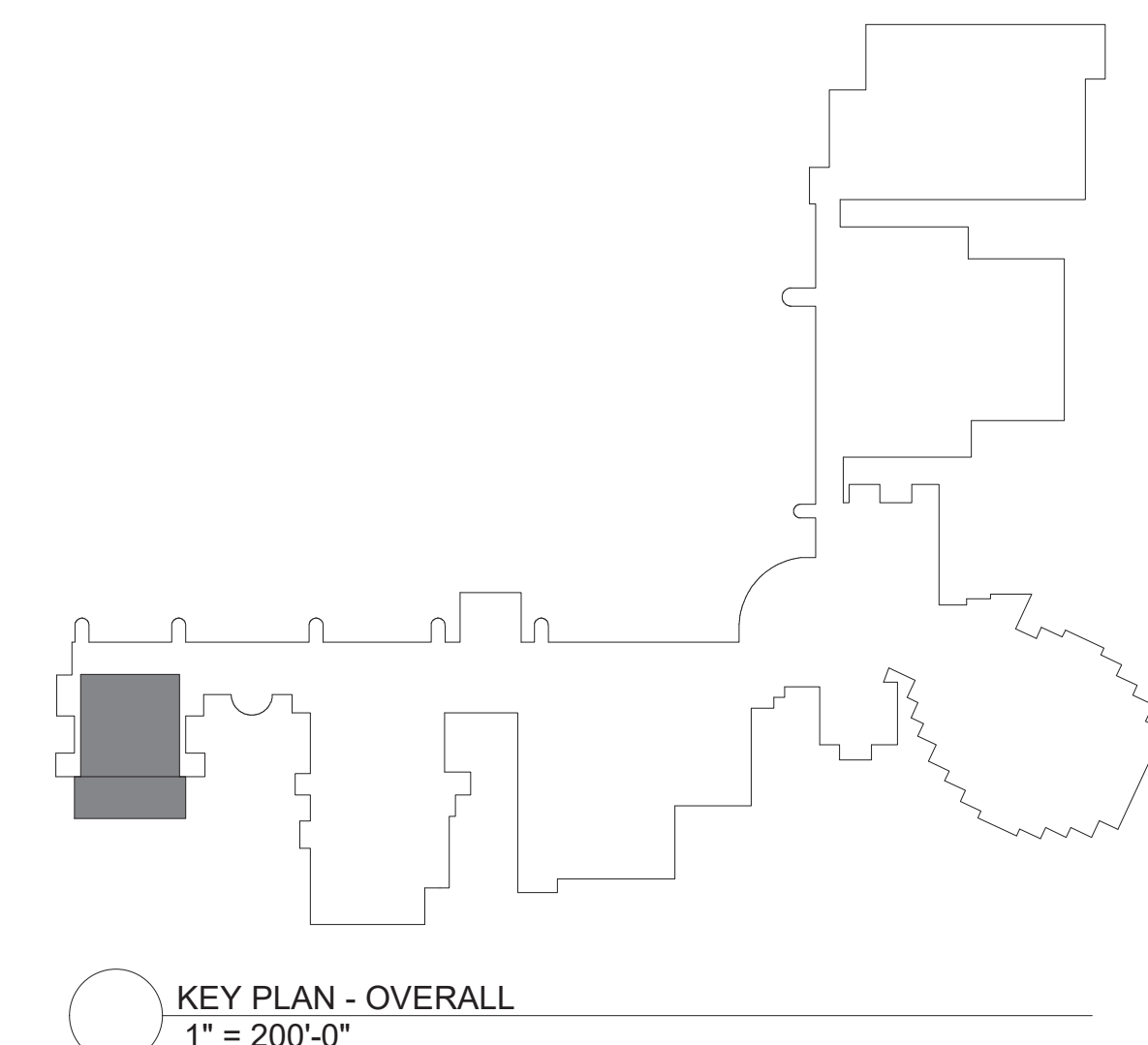
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PROJECT NUMBER220120.00  
DATE OF ISSUE06.28.21  
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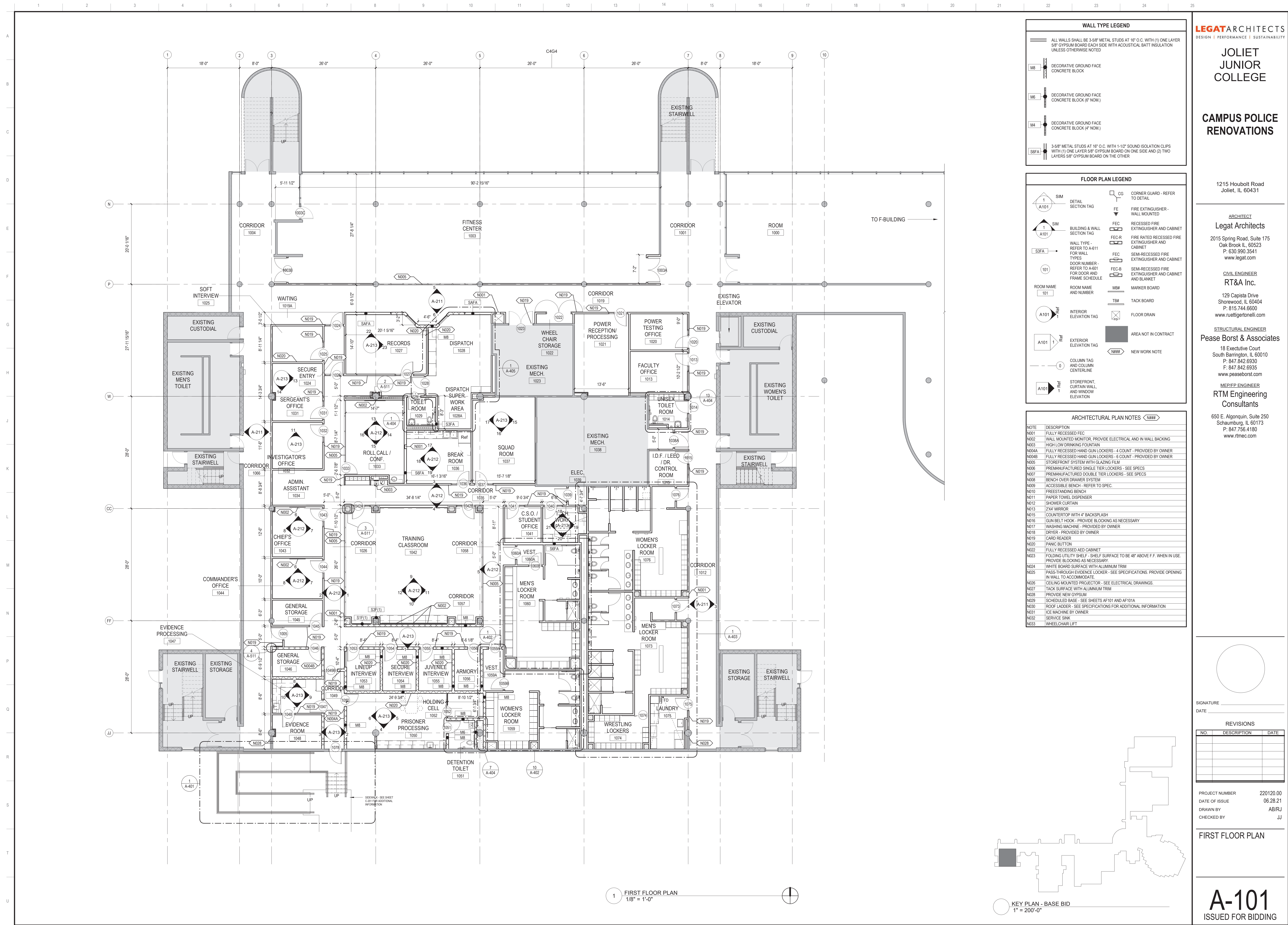
**FIRST FLOOR  
REFLECTED CEILING  
DEMOLITION PLAN**

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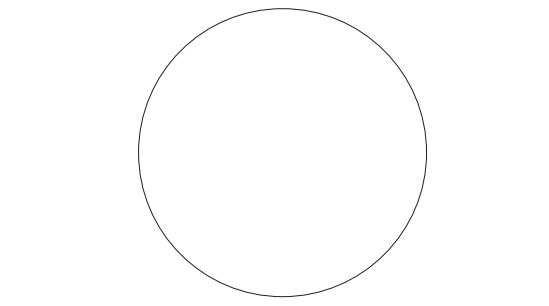
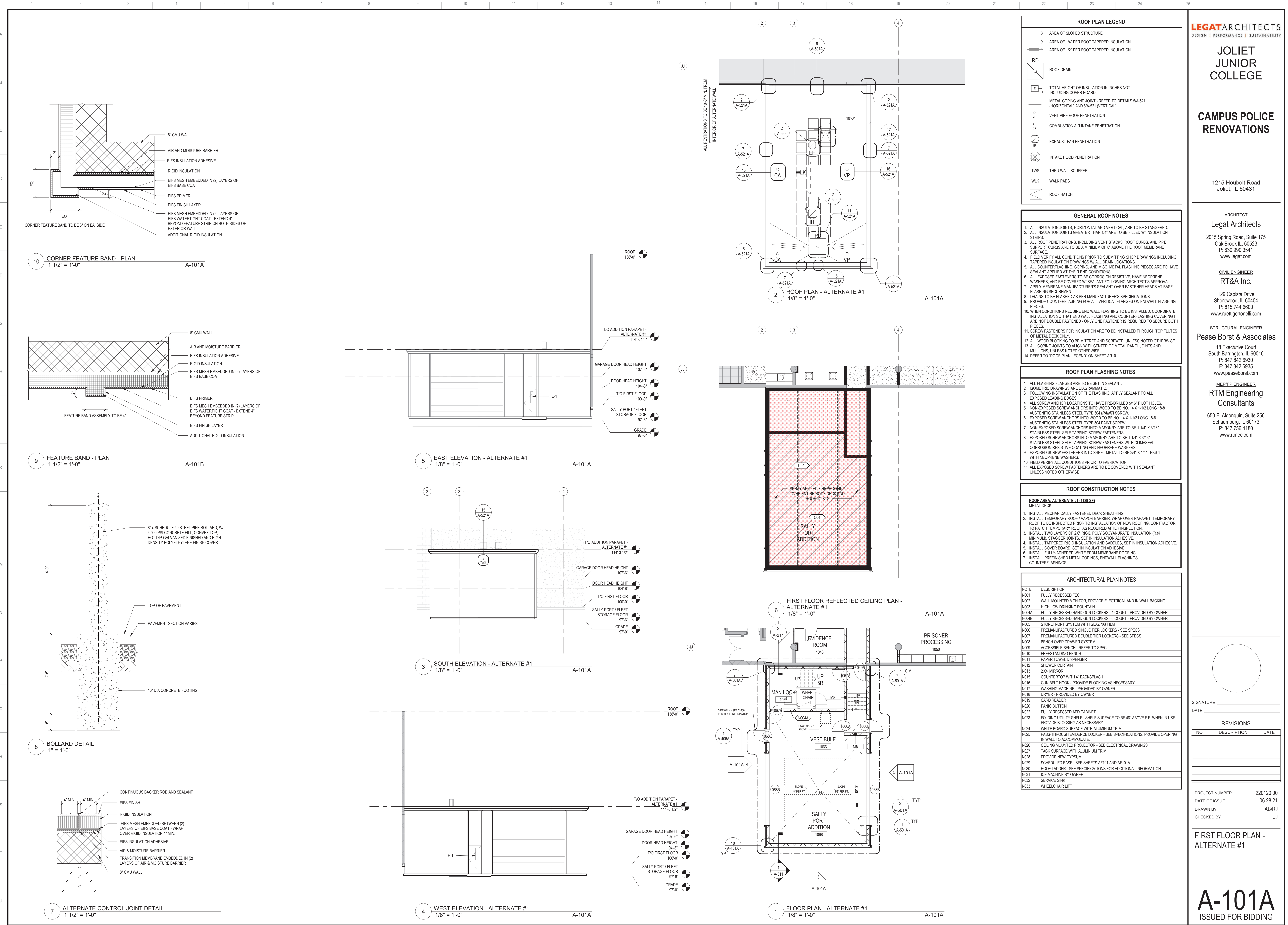
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FIRST FLOOR PLAN

A-101  
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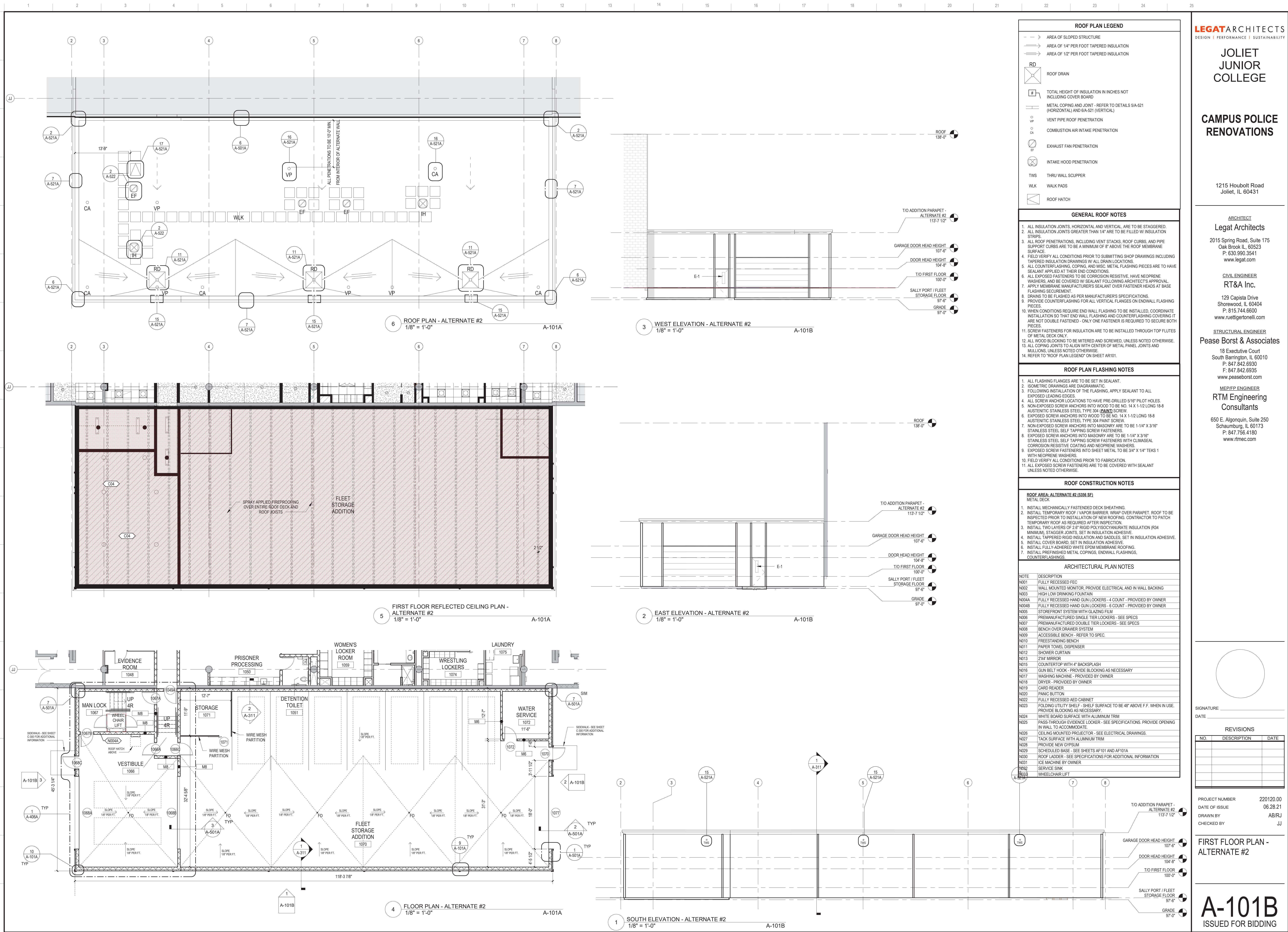
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FIRST FLOOR PLAN -  
ALTERNATE #1

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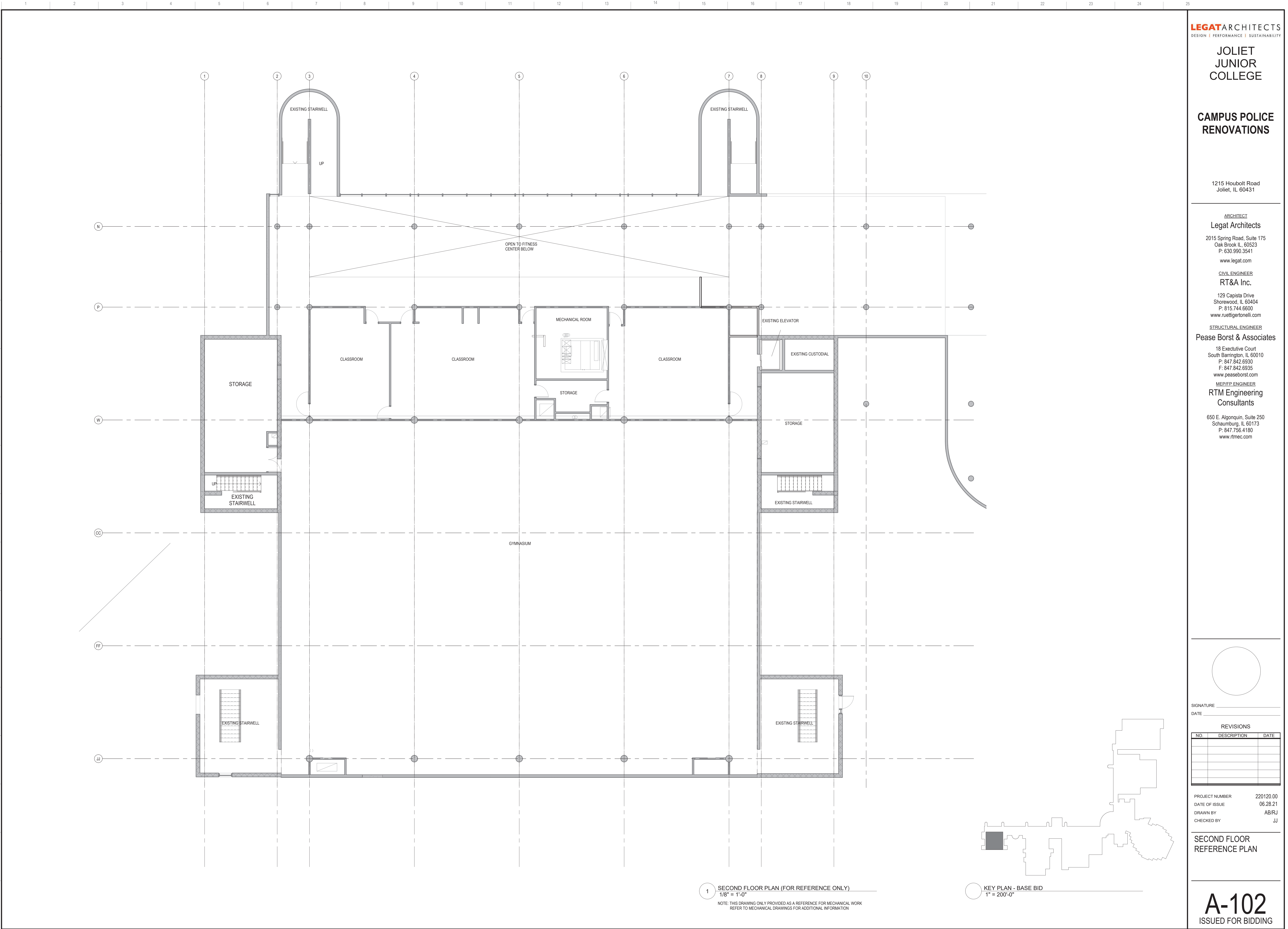
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FIRST FLOOR PLAN -  
ALTERNATE #2

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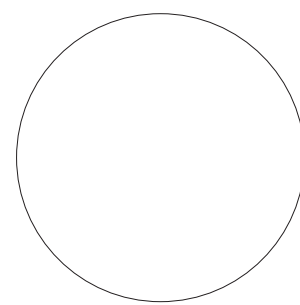
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SECOND FLOOR  
REFERENCE PLAN

A-102  
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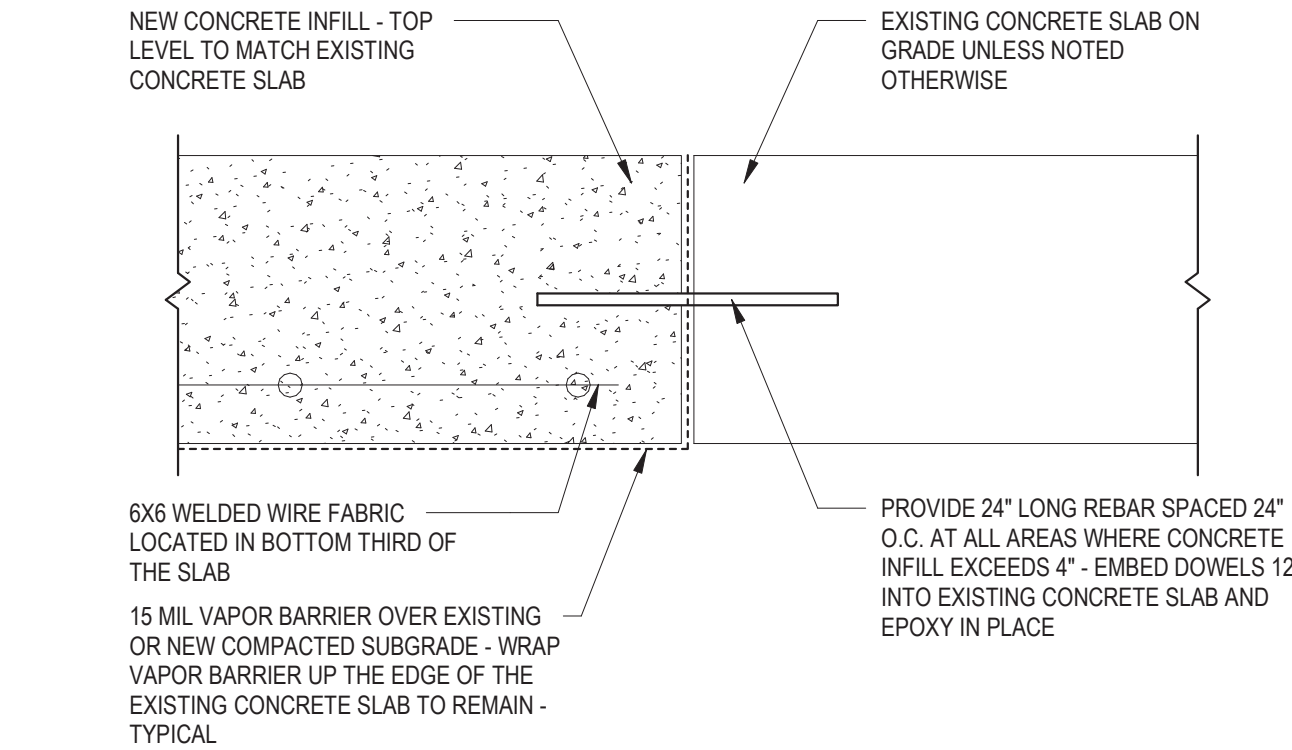
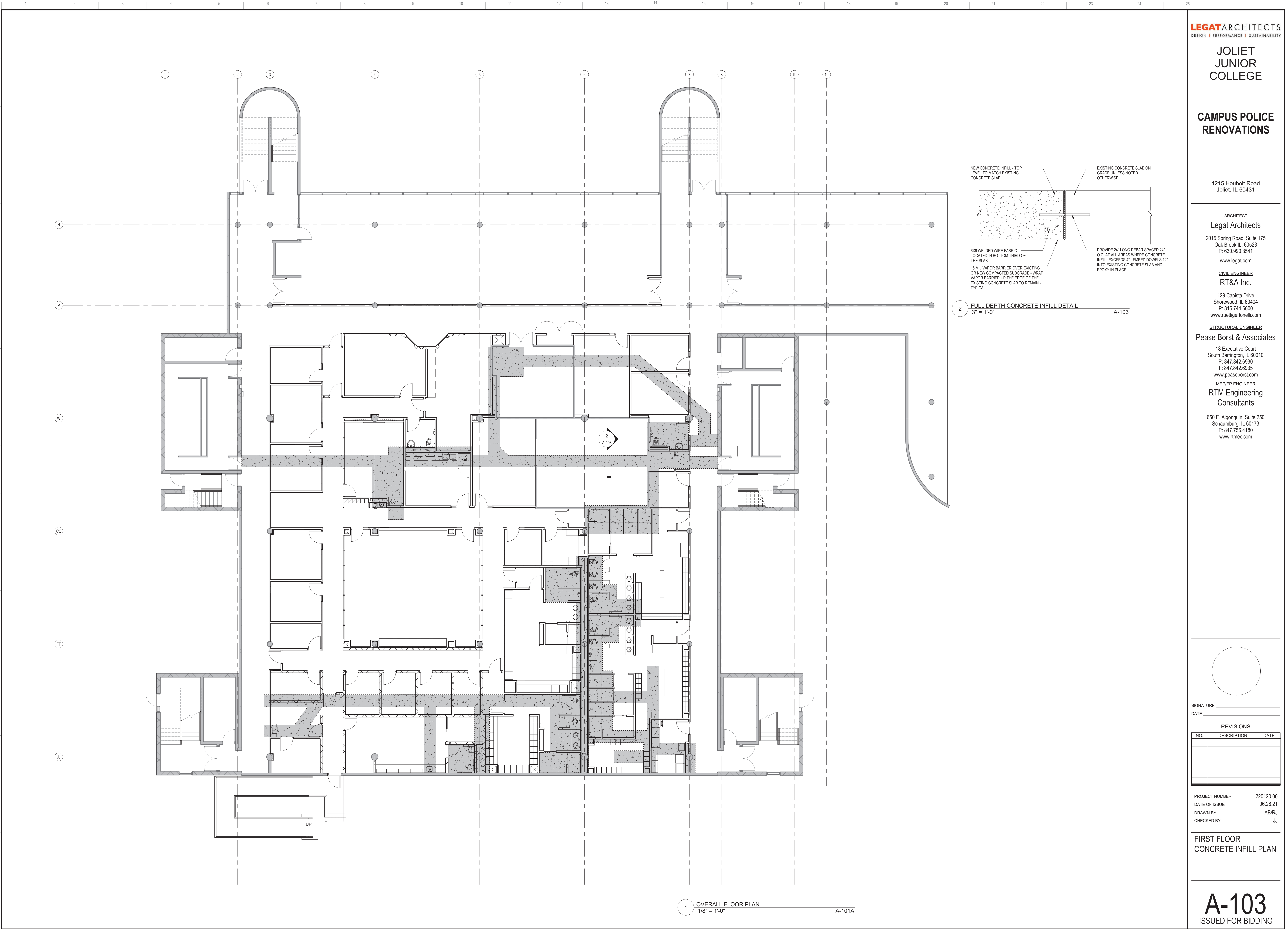
1 SECOND FLOOR PLAN (FOR REFERENCE ONLY)

1/8" = 1'-0"

NOTE: THIS DRAWING ONLY PROVIDED AS A REFERENCE FOR MECHANICAL WORK  
REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION

KEY PLAN - BASE BID  
1" = 200'-0"





2 FULL DEPTH CONCRETE INFILL DETAIL  
3" = 1'-0"

A-103

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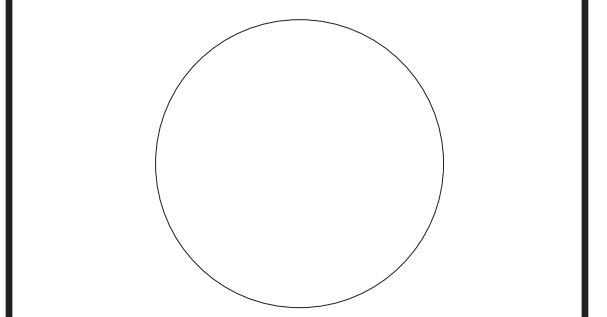
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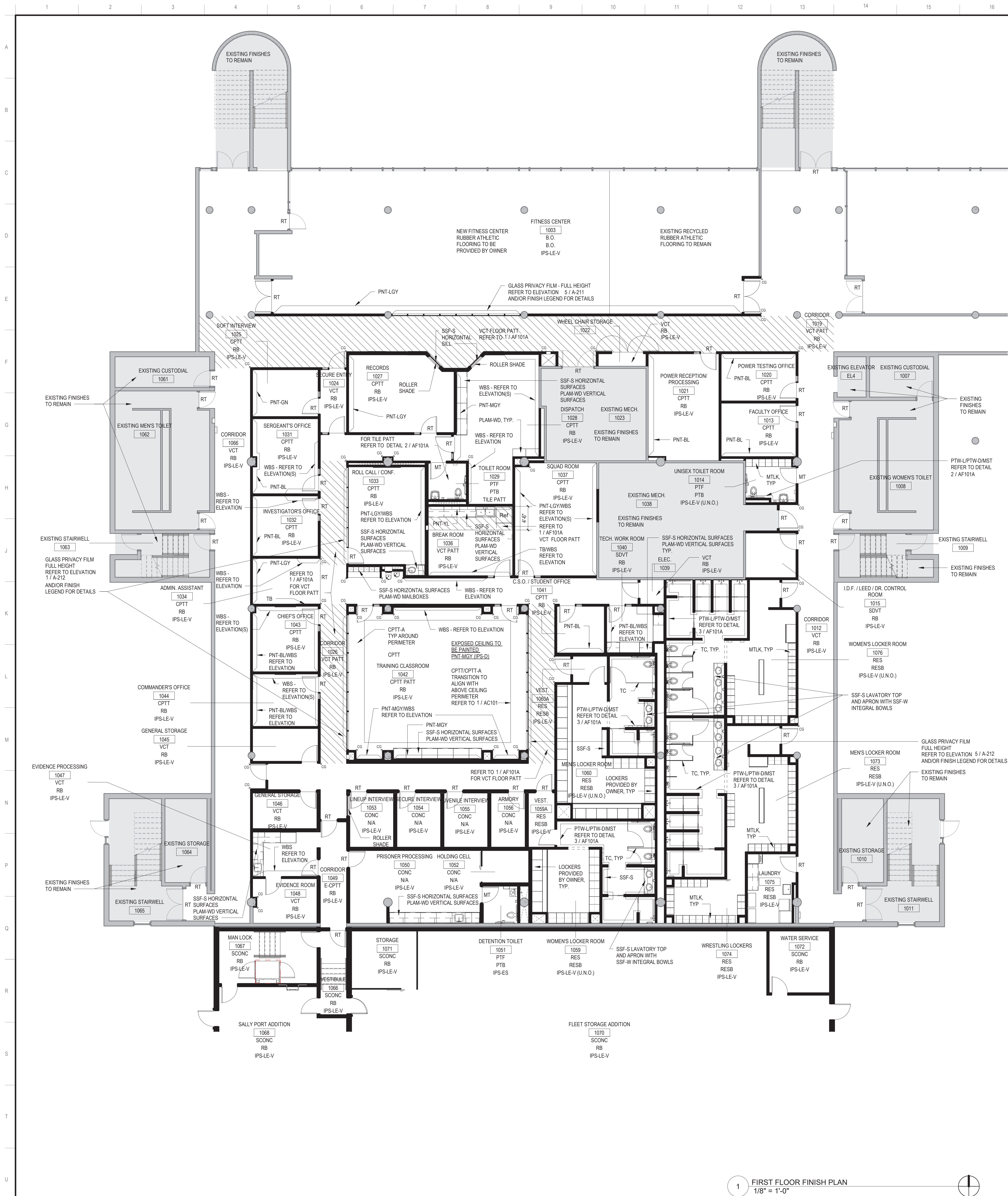
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FIRST FLOOR  
CONCRETE INFILL PLAN





FINISH LEGEND			GENERAL FINISH NOTES	
PTWL PORCELAIN TILE WALL FIELD COLOR	MANUF: CROSSVILLE STYLE: COLOR BLOX COLOR: SAND BOX SIZE: 3' X 3' MOSAIC X 1/4" THICK	CG CORNER GUARD	MANUF: INPRO STYLE: SURFACE MOUNT COLOR: STAINLESS STEEL FINISH: SATIN HEIGHT: 48" H STANDARD WING SIZE: 2'	1. REFER TO THE FINISH PLAN LEGEND FOR MATERIAL AND COLOR INFORMATION. 2. NUMBERS/LETTERS REFER TO COLOR. REFER TO FINISH LEGEND AND/OR PROJECT MANUAL SPECIFICATIONS. 3. REFER TO REFLECTED CEILING PLANS FOR CEILING MATERIALS AND CEILING HEIGHTS. 4. IT IS THE GENERAL TRADES CONTRACTOR'S RESPONSIBILITY TO PROPERLY PREPARE ALL SURFACES IDENTIFIED TO RECEIVE NEW FINISHES IN ACCORDANCE WITH THE FINISH MANUFACTURER'S RECOMMENDATIONS. 5. PROVIDE WINDOW SHADE SYSTEM WHERE NOTED ON FINISH PLANS. 6. PROVIDE 48" HIGH STAINLESS STEEL CORNER GUARDS AT ALL OUTSIDE CORNERS OF NEW AND EXISTING GYPSUM BOARD PARTITIONS. REFER TO FINISH PLANS FOR LOCATIONS. 7. REFER TO ENLARGED FINISH PLAN ON A7101A FOR VCT FLOOR PATTERNS. 8. IN ALL RENOVATED AREAS ALL WALLS SHALL BE PAINTED PNT-WH (U.N.O.). ALL NEW WALLS SHALL BE PAINTED PNT-WH (U.N.O.). 9. GROUND FACE MASONRY UNITS, BRICK AND PORCELAIN WALLS SHALL NOT BE PAINTED (U.N.O.). 10. DO NOT INSTALL RUBBER BASE ON TOP OF GROUND FACE MASONRY UNITS, BRICK OR PORCELAIN TILE WALL (U.N.O.). 11. REFER TO ENLARGED DETAIL DRAWING ON A7101A FOR PORCELAIN TILE WALL PATTERN INFORMATION. 12. USE VERTICAL METAL EDGE TRANSITIONS IN PORCELAIN TILE WALL OUTSIDE CORNERS AND/OR IN PORCELAIN TILE WALL EXPOSED EDGES. 13. ALL HOLLOW METAL DOOR FRAMES AND HOLLOW METAL WINDOW FRAMES TO BE PAINTED PNT-F (IPS-ES) U.N.O. IN FINISH DRAWINGS. 14. ALL ACCESS DOORS TO BE PAINTED COLOR TO MATCH ADJACENT SURFACE. 15. ELECTRICAL PANELS, MECHANICAL GRILLES, LOUVERS, AND ANY OTHER MISCELLANEOUS UNFINISHED ITEMS INSTALLED IN WALL SURFACES OF CORRIDORS AND OCCUPIED SPACES SHALL BE PAINTED TO MATCH ADJACENT WALL COLOR. 16. METAL ACCESS LADDERS TO BE PAINTED PNT-F (U.N.O.). 17. ALL EXPOSED COLUMNS AND BEAMS TO BE PAINTED TO MATCH ADJACENT SURFACE (U.N.O.). 18. REFER TO FINISH PLANS FOR PLASTIC LAMINATE (PLAM) AND SOLID SURFACE (SSF) COLOR DESIGNATIONS. 19. PROVIDE PVC EDGE BANDING AT ALL PLASTIC LAMINATE LOCATIONS. PVC EDGE BANDING COLOR TO MATCH PLASTIC LAMINATE COLOR (U.N.O.). FINAL PVC EDGE BANDING COLOR TO BE APPROVED BY ARCHITECT. 20. 4" STRAIGHT RUBBER BASE TO BE USED FOR ALL CARPET TILE LOCATIONS (U.N.O.). 21. 4" H COVED RUBBER BASE TO BE USED FOR ALL RESILIENT FLOORING LOCATIONS (U.N.O.). 22. INSTALL RUBBER COVE BASE AT CASEWORK, TIE KICKS, INSIDE OF FLOORLESS CASEWORK, VERTICAL SUPPORTS AND OVER NEW FLOOR MATERIAL (U.N.O.). 23. ALL SEALED CONCRETE FLOORS SHALL HAVE RUBBER BASE (U.N.O.). DO NOT INSTALL RUBBER BASE ON COLORED EPOXY FLOORING (U.N.O.). 24. CARPET TILE (CPTT) TO BE INSTALLED IN ONE OF THE SELECTED MANUFACTURER APPROVED PATTERN INSTALLATIONS. 25. REFER TO DETAIL DRAWINGS FOR DESIGN INTENT OF FLOORING TRANSITION PROFILES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR FLOORING INSTALLER TO COORDINATE ALL TRANSITIONS APPROPRIATELY WITH ABUTTING MATERIAL HEIGHTS. 26. AT BUILDING CONSTRUCTION JOINTS, DO NOT BRIDGE THE FLOORING MATERIALS. INSTALL MATCHING FLOORING MATERIAL WITH JOINT. 27. REFER TO PLUMBING DRAWINGS FOR FLOOR SLOPES TO FLOOR DRAINS. 28. COORDINATE ACCORDINGLY WITH INTERIOR FLOOR MATERIAL (U.N.O.). 29. PROVIDE VAPOR BARRIER SEALER ON CONCRETE SURFACES AT ALL AREAS TO RECEIVE CARPET AND/OR RESILIENT FLOORING. 30. PRIOR TO THE INSTALLATION OF OVER CONCRETE SUBSTRATES APPLY A LIGHT-COLORED HIGH STRENGTH ACRYLIC POLYMER COMPOUND (AQUEOUS FLOOR SEALER) TO ISOLATE AND SEAL BACK OLD ADHESIVE FLOOR RESIDUES. ACRYLIC POLYMER COMPOUND TO BE SOLVENT FREE AND TO CONTAIN "ZERO" CALCULATED VOC'S. BASIS OF DESIGN XL BRANDS "TRISEAL". FOLLOW MANUFACTURER'S RECOMMENDATION FOR INTENDED APPLICATION. 31. WHERE "PATCH AND REPAIR" IS REQUIRED DUE TO NEW CONSTRUCTION IN EXISTING AREAS WHERE NO WORK IS SCHEDULED TO BE PERFORMED "PATCH AND REPAIR" FINISHES TO MATCH ADJACENT EXISTING FINISH COLOR, TEXTURE AND SHEEN. 32. IN ALL EXISTING AREAS SCHEDULED TO BE RENOVATED, REPLACE ALL EXISTING ELECTRICAL WALL COVER PLATES AND DEVICES. ALL NEW ELECTRICAL COVER PLATES TO BE STAINLESS STEEL WITH WHITE DEVICES. 33. ANY DAMAGE TO EXISTING SURFACES DUE TO SCHEDULED DEMOLITION AND/OR TO ACCOMMODATE DIVISION 22, 23, 26, 27 & 28 SCOPE OF WORK INCLUDED IN THIS PACKAGE SHALL BE REPAIRED, THOUGH NOT EXPRESSLY NOTED "PATCH AND REPAIR". IT IS INTENDED THAT THE WORK BE PERFORMED. 34. "PATCH AND REPAIR" WALLS AS REQUIRED WHERE EXISTING JUNCTION BOXES AND/OR OUTLETS ARE REMOVED. PREPARE WALLS FOR NEW PAINT FINISH. 35. ALL WALL SURFACES OF TOILET AND SHOWER AREAS ONLY WITHIN WOMEN'S LOCKER ROOM 1059, MEN'S LOCKER ROOM 1060, MEN'S LOCKER ROOM 1073 AND WOMEN'S LOCKERS 1078 TO BE PORCELAIN WALL TILE (U.N.O.). REFER TO 3 / AF101A FOR DETAIL OF TYPICAL PORCELAIN WALL TILE PATTERN WITH RESILIENT COVE BASE. 36. ALL WALL SURFACES WITHIN TOILET ROOM 1029 TO BE PORCELAIN WALL TILE (U.N.O.). REFER TO 2 / AF101A FOR DETAIL OF TYPICAL PORCELAIN WALL TILE PATTERN WITH PORCELAIN COVE BASE. 37. DO NOT INSTALL PORCELAIN AND/OR GLASS MOSAIC WALL TILE BEHIND, ABOVE, BELOW OR DIRECTLY ADJACENT TO METAL LOCKERS (U.N.O.).
PTW-D PORCELAIN TILE WALL ACCENT COLOR	MANUF: CROSSVILLE STYLE: COLOR BLOX COLOR: I SEE THE MOON SIZE: 3' X 3' MOSAIC X 1/4" THICK	CONC COLORED EPOXY	MANUF: ALLIED CONSTRUCTION TECHNOLOGIES STYLE: AC TECH 2170 COLOR: TO BE SELECTED BY AOR FROM MANUF. STANDARDS	
RB RUBBER BASE 4" H	MANUF: TARKETT STYLE: DURACORE COLOR: BLACK 40	CPTT CARPET TILE FIELD COLOR	MANUF: INTERFACE STYLE: ICE BREAKER 1473002500 COLOR: JETMIST 10573 SIZE: 19.69" X 19.69" X +/- 0.228" THICK INSTALL PATT: NON-DIRECTIONAL	
RES RESINOUS (FLUID-APPLIED) FLOORING	MANUF: GENERAL POLYMER STYLE: CERAMIC CARPET #400 DECORATIVE BROADCAST SYSTEM COLOR: RIVERSTONE 340 SIZE: 6" H	CPTT-A CARPET TILE ACCENT COLOR	MANUF: INTERFACE STYLE: ICE BREAKER 1473002500 COLOR: CONCRETE 105770 SIZE: 19.69" X 19.69" X +/- 0.228" THICK INSTALL PATT: NON-DIRECTIONAL	
REBS RESINOUS (FLUID-APPLIED) INTEGRAL BASE	MANUF: GENERAL POLYMER STYLE: CERAMIC CARPET #400 COLOR: RIVERSTONE 340 SIZE: 6" H	E-CPTT ENTRY WALK-OFF CARPET TILE	MANUF: INTERFACE STYLE: TRENDSTONE PLUS COLOR: MIDWEST WHITE	
RT RUBBER TRANSITIONS	MANUF: TARKETT STYLE: REFER TO GENERAL NOTES COLOR: GREY 46	GMU GROUND FACE MASONRY UNITS	MANUF: TRENWYTH STYLE: TRENDSTONE PLUS COLOR: MIDWEST WHITE	
ROLLER SHADE 3% OPEN FABRIC	MANUF: DRAPER STYLE: SHERWINE INFINITY II COLOR: COTTON	GLASS PRIVACY FILM	MANUF: 3M PRODUCT: FASARA GLASS FINISHES STYLE: GRADATION COLOR: WHITE, MATTE OPACITY PATTERN: CUSTOM. REFER TO ELEVATION DRAWINGS	
SCONC SEALED CONCRETE	REFER TO PROJECT MANUAL SPECIFICATIONS	MT METAL TRANSITION	MANUF: SCHLUTER STYLE: REFER TO GENERAL NOTES COLOR: SATIN ANODIZED	
SDVT STATIC DISSIPATIVE VINYL TILE	MANUF: ARMSTRONG STYLE: EXCELON SDT COLOR: FOSSIL GRAY 51956 SIZE: 12" X 12" X 1/8" THICK	MTLK METAL LOCKER FOR FITNESS AND ATHLETIC LOCKER ROOMS ONLY	MANUF: LYON COLOR: PUTTY	
SSF-S SOLID SURFACE COLOR: SANDSTONE	MANUF: CORIAN COLOR: SANDSTONE	PLAM-WD PLASTIC LAMINATE WOOD LOOK	MANUF: WILSONART COLOR: PINNACLE WALNUT FINISH: FINE VELVET 38 REFER TO GENERAL NOTE #19	
SSF-W SOLID SURFACE COLOR: CAMEO WHITE	MANUF: CORIAN STYLE: #810 COLOR: CAMEO WHITE	PNT-BL INTERIOR PAINT ACCENT COLOR	MANUF: BENJAMIN MOORE COLOR: KENSINGTON BLUE 840	
TB TACK BOARD	MANUF: CLARICO PRODUCTS STYLE: QUADROF OF MAINE COLOR: MULBERRY 1697	PNT-FH HOLLOW METAL FRAME COLOR	MANUF: BENJAMIN MOORE COLOR: WINTER SOLISTICE 1605	
TC TOILET COMPARTMENTS	MANUF: BRADLEY CORP FINISH: POWDERCOATED STEEL COLOR: CYBERSPACE 7076	PNT-GN INTERIOR PAINT ACCENT COLOR	MANUF: BENJAMIN MOORE COLOR: WETHERSFIELD MOSS HC-110	
VCT-GY VINYL COMPOSITION TILE (FIELD COLOR)	MANUF: ARMSTRONG STYLE: STANDARD EXCELON IMPERIAL TEXTURE COLOR: BLUE/GRAY 51903 SIZE: 12" X 12" X 1/8" THICK	PNT-LGY INTERIOR PAINT ACCENT COLOR	MANUF: BENJAMIN MOORE COLOR: SILVERLY MOON 1694	
VCT-PL VINYL COMPOSITION TILE (ACCENT COLOR)	MANUF: ARMSTRONG STYLE: STANDARD EXCELON IMPERIAL TEXTURE COLOR: GOLDEN 51978 SIZE: 12" X 12" X 1/8" THICK	PNT-MGY INTERIOR PAINT ACCENT COLOR	MANUF: BENJAMIN MOORE COLOR: STEEL WOOL 2121-20	
VCT-VL VINYL COMPOSITION TILE (ACCENT COLOR)	MANUF: ARMSTRONG STYLE: STANDARD EXCELON IMPERIAL TEXTURE COLOR: GLOSSY SIZE: 4'-0", REFER TO ELEVATIONS FOR CUSTOM WIDTHS	PNT-WH INTERIOR PAINT ACCENT COLOR	MANUF: SHERWIN WILLIAMS COLOR: SNOWBOUND SW7004 FOR DETAIL OF TYPICAL PORCELAIN WALL TILE PATTERN WITH RESILIENT COVE BASE.	
WBS WHITE BOARD SURFACE	MANUF: 3M STYLE: POST-IT FLEX WRITE SURFACE. THE PERMANENT MARKER WHITEBOARD SURFACE COLOR: WHITE, GLOSSY SIZE: 4'-0", REFER TO ELEVATIONS FOR CUSTOM WIDTHS	PNT-LY INTERIOR PAINT ACCENT COLOR	MANUF: BENJAMIN MOORE COLOR: GOLDEN HONEY 297	
WOOD DOORS	MANUF: VT INDUSTRIES SPECIES: WHITE MAPLE CUT: PLAIN SLOCED COLOR: RAVINE RA18	PTB PORCELAIN TILE COVE BASE	MANUF: CROSSVILLE STYLE: COLOR BLOX COLOR: ROASTED MARSHMALLOW SIZE: 6" X 12"	
		PTF PORCELAIN TILE FLOOR	MANUF: CROSSVILLE STYLE: COLOR BLOX COLOR: ROASTED MARSHMALLOW SIZE: 6" X 6" X 3/8" THICK	

GENERAL PAINTING NOTES		
1. AT ALL AREAS OF NEW FLOORING: A. PROVIDE RUBBER TRANSITION STRIPS BETWEEN DISSIMILAR FLOORING MATERIALS. B. PROVIDE 4-INCH RUBBER BASE ON ALL VERTICAL SURFACES ABUTTING FLOORING MATERIALS (U.N.O.). C. GRIND ANY HIGH SPOTS AND FILL ANY LOW SPOTS IN CONCRETE SUBSTRATE PRIOR TO BEGINNING ANY WORK. D. PREPARE CRACKS AND OTHER SURFACE DEFECTS IN CONCRETE SUBSTRATE IN ACCORDANCE WITH FLOORING MANUFACTURER'S RECOMMENDATIONS PRIOR TO BEGINNING ANY WORK.	2. AT ALL AREAS OF NEW FLOORING IN EXISTING BUILDING: A. EXISTING FLOORING AS INDICATED ON DRAWINGS MAY BE ASBESTOS CONTAINING AND SHALL BE REMOVED UNDER SEPARATE CONTRACT. B. SHOT BLAST EXISTING CONCRETE SUBSTRATE PRIOR TO BEGINNING ANY WORK. C. GRIND ANY HIGH SPOTS AND FILL ANY LOW SPOTS IN CONCRETE SUBSTRATE RESULTING FROM DEMOLITION PRIOR TO BEGINNING ANY WORK. D. PROVIDE CEMENTITIOUS SELF-LEVELING FLOORING UNDERLAYMENT. PROVIDE TWO COATS WITH A COMBINED AVERAGE THICKNESS OF 3/4-INCH. E. UNDERCUT EXISTING WOOD DOORS LOCATED ON OR ADJACENT TO AREAS OF NEW FLOORING AS REQUIRED TO ENSURE PROPER OPERATION OF THE DOOR(S). F. EXISTING THRESHOLDS NOTED TO REMAIN SHALL BE REMOVED AND REINSTALLED SO NEW FLOORING CAN BE INSTALLED UNDER THE EDGE OF THRESHOLDS.	

GENERAL CEILING FINISH NOTES		
1. REFER TO PAINT SPECIFICATIONS, FINISH DRAWINGS AND CEILING PLANS FOR CEILING AND SOFFIT COLOR INFORMATION. 2. REFER TO ACOUSTICAL CEILING PANELS (ACT) SPECIFICATION, AND CEILING PLANS FOR ACT INFORMATION. 3. WHERE EXPOSED CEILINGS ARE CALLED TO BE PAINTED, PAINT ALL EXPOSED ITEMS INCLUDING, BUT NOT LIMITED TO: FRAMING, DECK, DUCTWORK, PIPING & CONDUIT. DO NOT PAINT H, V, E, FA, P LABELS, MOVING PARTS, OR COMPONENTS THAT ARE EXPECTED TO REMAIN UNPAINTED. PAINT COLOR TO BE PNT-WH (IPS-D) U.N.O. ON FINISH PLANS. 4. ALL GYPSUM BOARD / PLASTER CEILINGS AND SOFFITS TO BE PAINTED. PAINT COLOR TO BE PNT-WH (IPS-D) U.N.O. IN FINISH DRAWINGS. A TA CARLINS SHALL NOT BE PAINTED. 5. GYPSUM BOARD CEILINGS IN SHOWER AREAS TO BE PAINTED PNT-WH (IPS-ES). 6. IN ALL MAIN CUSTODIAL AREAS AND MECHANICAL ROOMS, STEEL DECKING AND EXPOSED STRUCTURE AND DUCTWORK WITH ASSOCIATE SUPPORTS NOT TO BE PAINTED (U.N.O.) IN FINISH PLANS.		

INTERIOR PAINT SYSTEM		
IPS-LV-F LATEX INTERIOR, INSTITUTIONAL LOW ODOR/VOOC, FLAT	IPS-LV-E LATEX INTERIOR, INSTITUTIONAL LOW ODOR/VOOC, EGGSHELL	IPS-LV-V LATEX INTERIOR, INSTITUTIONAL LOW ODOR/VOOC, SEMI-GLOSS
IPS-D DRY FALL, WATER-BASED, FLAT	IPS-ES EPOXY-MODIFIED LATEX, INTERIOR, SEMI-GLOSS	

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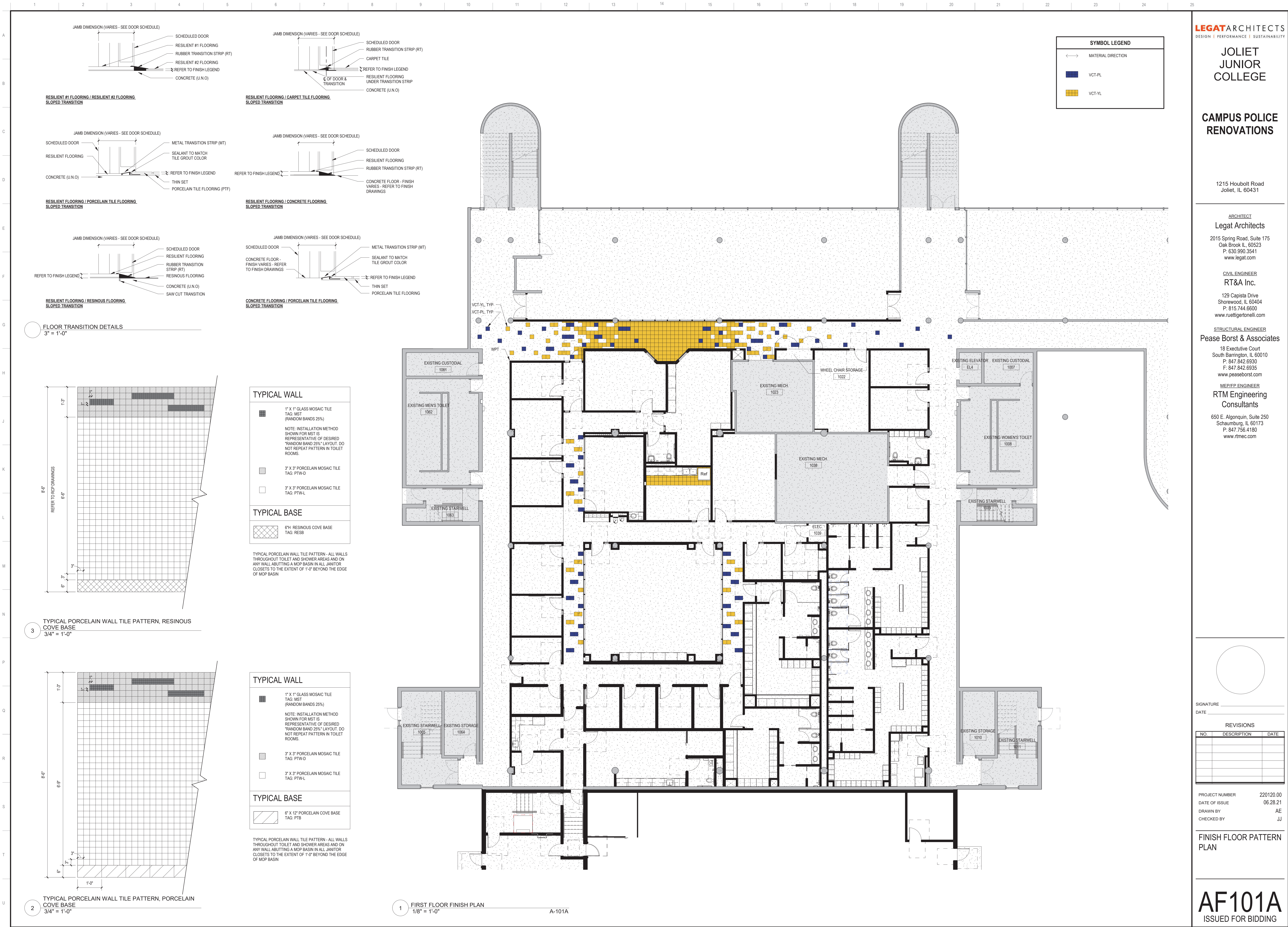
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FIRST FLOOR FINISH  
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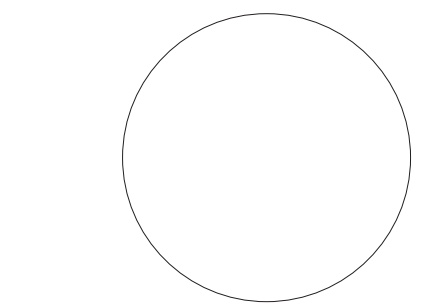
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FINISH FLOOR PATTERN  
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